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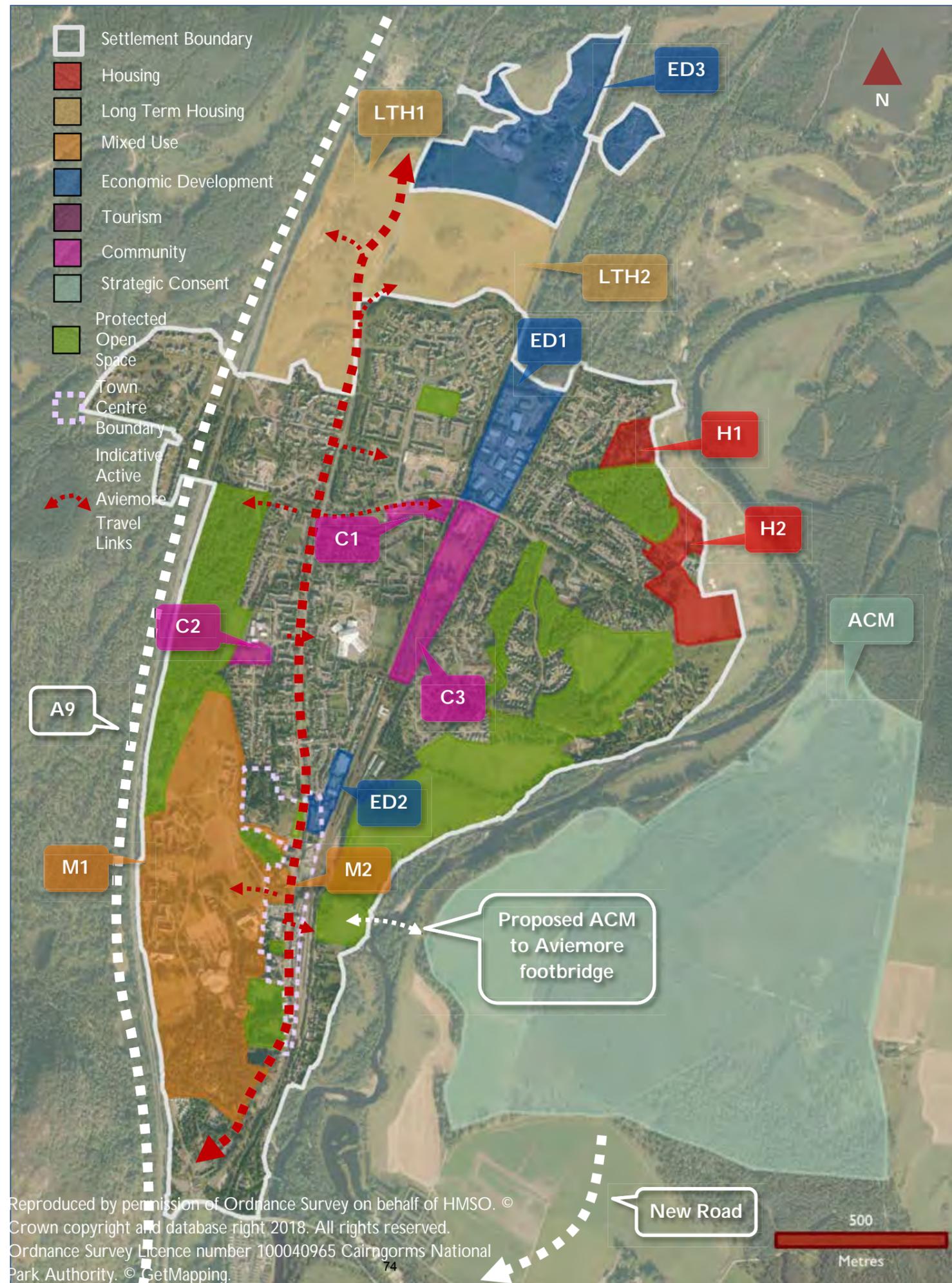
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# AVIEMORE

AVIEMORE is the largest settlement in Badenoch and Strathspey and has grown significantly in recent years. It is a thriving destination for visitors due to its proximity to the Cairngorm Mountains and reputation for adventure sports. However, whilst the local economy is thriving there is a need for affordable housing for people who live and work in the area.

## Settlement objectives

- Protect the role of Aviemore as a key service and employment centre for the wider region
- Support opportunities which increase the attraction of Aviemore as a tourist and recreation destination
- Support proposals for business growth and development
- Support links with Glenmore/Cairngorm
- Deliver housing that meets local needs, particularly affordable and mid-market housing for rent and purchase
- Support the development of the 'Active Aviemore' initiative (as shown indicatively on the map) to improve active travel links and opportunities in and around the town
- Support the delivery of a new community hall facility
- Ensure the upgrade of the A9 does not significantly encroach on the settlement
- Support the provision of off street parking for tour buses and heavy goods vehicles



## Developer obligations

### Affordable housing

All housing developments should include 45% affordable housing

### Planning obligations

Contributions will be sought from any housing developments towards:

- Increasing Primary School capacity in Aviemore
- An extension to Kingussie High School
- Increasing capacity at strategic community leisure facilities serving Aviemore

### Other infrastructure considerations

- Waste Water Treatment Works
- Local road infrastructure



# PROPOSALS

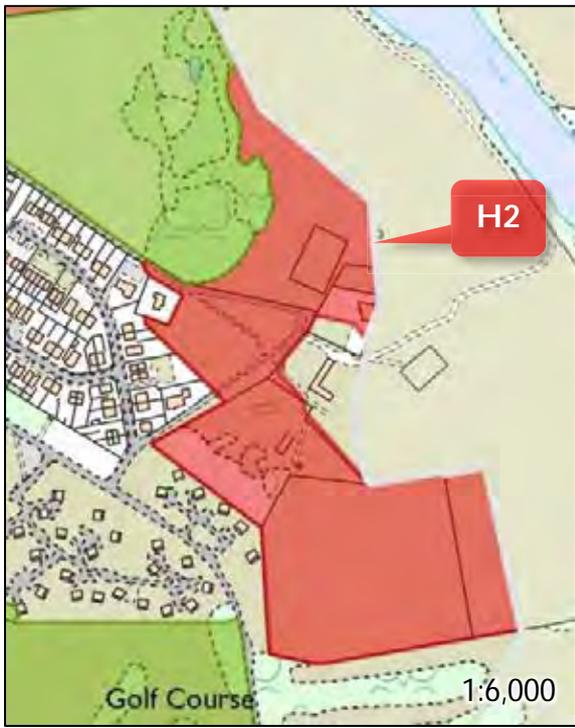


<b>H1: Dalfaber Allocated for Housing</b>	<b>Indicative Capacity: 10 units</b>	<b>1.7 ha</b>
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The site has consent for 10 dwellings and represents a well located site that will contribute towards meeting Aviemore's housing need.

 Should the existing permission expire or be varied, a revised Flood Risk Assessment and hydromorphological study will be required to identify the functional floodplain and developable area.

 A revised Drainage Impact Assessment may be required. Opportunities to create and enhance blue and green networks are encouraged.



<b>H2: Dalfaber Allocated for Housing</b>	<b>Indicative Capacity: 83 units</b>	<b>5.5 ha</b>
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The site has consent for 83 dwellings and represents a well located site that will contribute towards meeting Aviemore's housing need.

 Should the existing permission expire or be varied, a revised Flood Risk Assessment and hydromorphological study will be required to identify the functional floodplain and developable area.

 A revised Drainage Impact Assessment may be required. A large sewer mains runs along the boundary of this site. Opportunities to create and enhance blue and green networks are encouraged.



**M1: Aviemore Highland Resort**  
Allocated for Mixed Uses

33 ha

The Aviemore Highland Resort is large site in the centre of Aviemore. It currently has a range of different uses including hotels and holiday accommodation, retail, recreation and housing and has undergone significant development to create the resort it is today. The allocation offers an opportunity for the enhancement and diversification of the current uses, including the provision of additional housing, retail, recreation and employment spaces.



Medium to high probability of flood risk exists adjacent to site. A Flood Risk Assessment or other supporting information will be required to identify the developable area.



A Drainage Impact Assessment is required and should address existing surface water flooding issues. Existing water and sewer infrastructure runs through this site. There is an opportunity to deculvert the outflow from Loch Puladdern through the site and renaturalise the Aviemore Burn. Development should take this into account as far as possible.



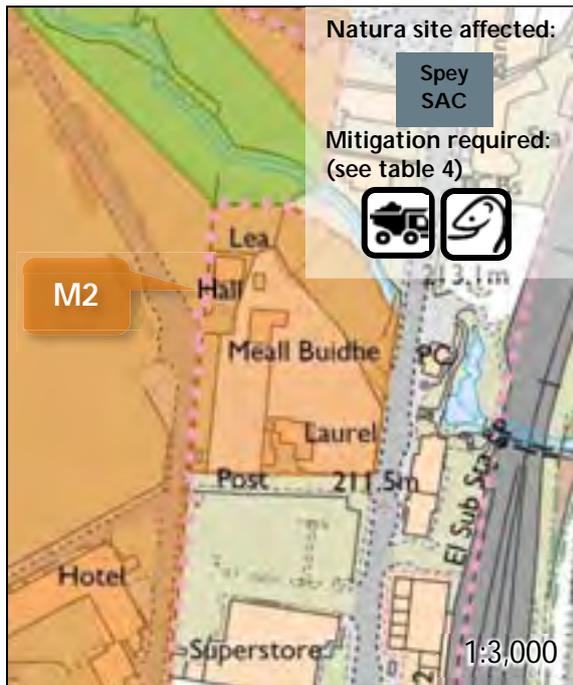
Landscaping and structure planting will be required to ensure integration of the development with the surrounding landscape. In particular, account should be taken of views into and out of the site.



Development proposals should seek to protect and integrate with existing path networks, notably the Aviemore Orbital Path which runs along the boundary of the site



A development brief has been adopted for this site. Development proposals should take account of the principles outlined in this document.



**M2: Land at Laurel Bank  
Allocated for Mixed Uses** **0.7  
ha**

The site provides a good opportunity for development that contributes to the vitality of the town centre. Retail and commercial uses will be essential at ground floor level, however there may be scope for residential uses on upper floors.



Medium to high probability of flood risk adjacent to the site. A Flood Risk Assessment or other supporting information will be required to identify the functional flood plain and developable area. If residential uses are proposed at upper floor levels, safe access and egress will need to be demonstrated.

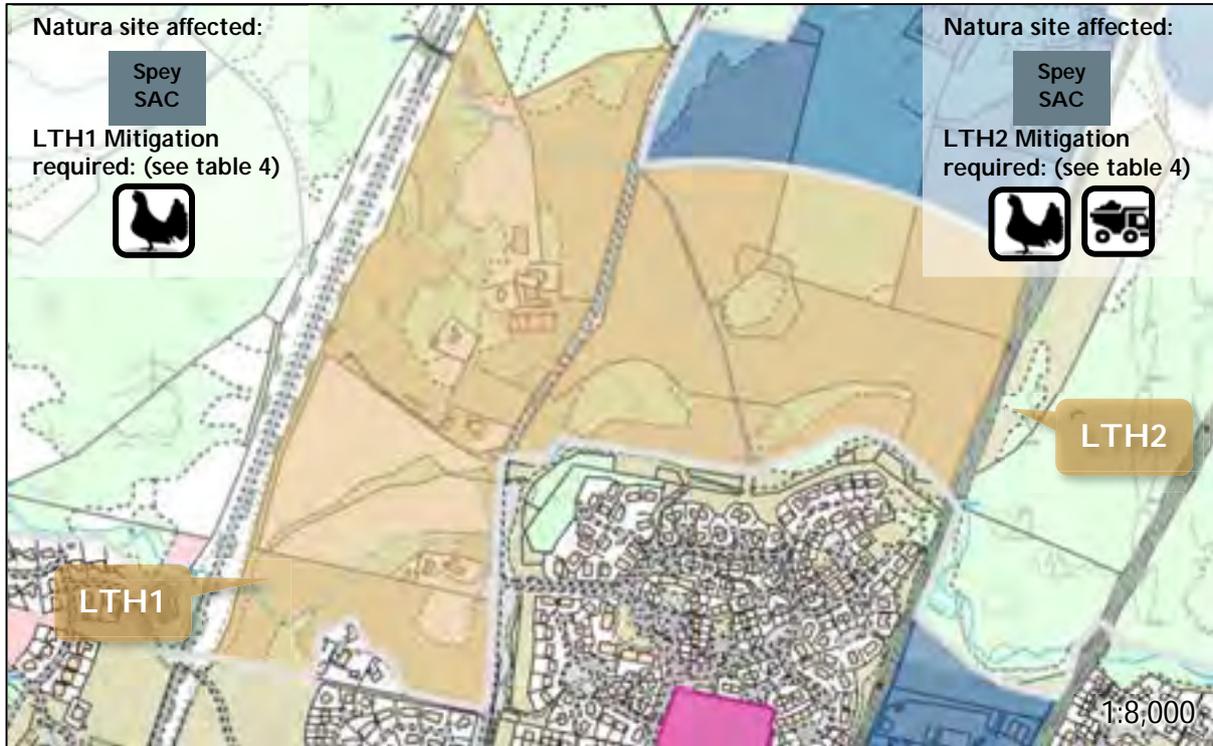


A Drainage Impact Assessment is required and should address existing surface water flooding issues. Enhancement of Aviemore Burn, which has been historically straightened, is encouraged.

LTH1 and LTH2: North Aviemore  
Allocated for Long Term Housing

Indicative Residential  
Capacity:  
400 units

35.4  
ha



The North Aviemore sites represent locations for long term growth beyond the plan period. These sites are not expected to be released for development during the plan period and proposals for their development within the timeframe of the current plan will only be considered where the requirements of Policy 1.11 are satisfied. The status of these sites will be reviewed through the next LDP.



Owing to the presence of small watercourses, a Flood Risk Assessment or other supporting information will be required to identify the functional floodplain and developable area.



A Drainage Impact Assessment is required and should address existing surface water flooding issues. A trunk main, a rising sewer main and trade effluent main all run through this site.



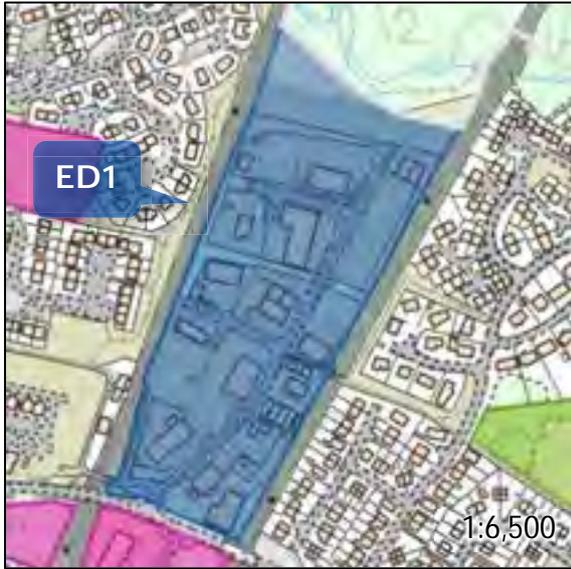
Landscaping and structure planting will be required to ensure integration of the development with the surrounding landscape and ancient woodland to the north of the site. Existing areas of woodland on the site should be retained and incorporated as part of the overall green infrastructure of the site.



Development proposals should seek to protect and integrate with existing path networks, notably the Speyside Way which runs through some of the site.



A Masterplan for the sites will be required. This should include investigation of the potential for watercourse realignment/restoration along straightened sections of existing watercourses in and adjacent to the site.



**ED1: Dalfaber Industrial Estate** 5.9  
**Allocated for Economic** ha  
**Development**

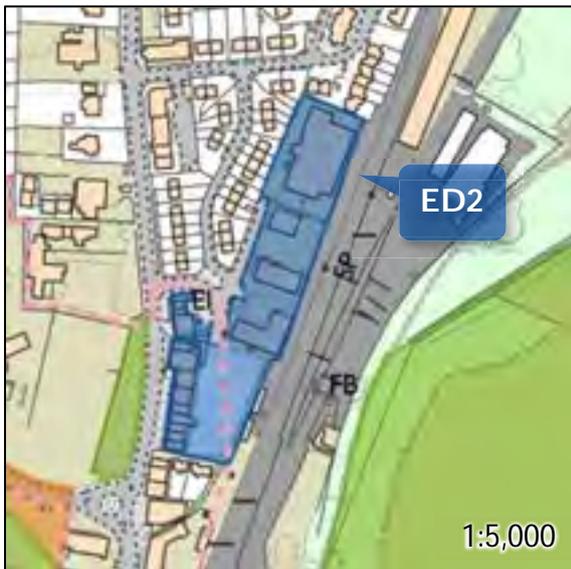
The existing Dalfaber Industrial Estate provides opportunities for economic development proposals to support the economy of Aviemore and the surrounding area. An area of 0.75 Ha to the north of Dalfaber Industrial Estate is included to allow for future expansion when the current site reaches capacity. Currently used for informal recreation, pedestrian links through the site should be protected.



A Drainage Impact Assessment for the northern part of the site is required to address existing surface water flooding issues.



Landscaping will be required to ensure integration of the development with the surrounding landscape.



**ED2: Myrtlefield Industrial Estate** 1.2  
**Allocated for Economic** ha  
**Development**

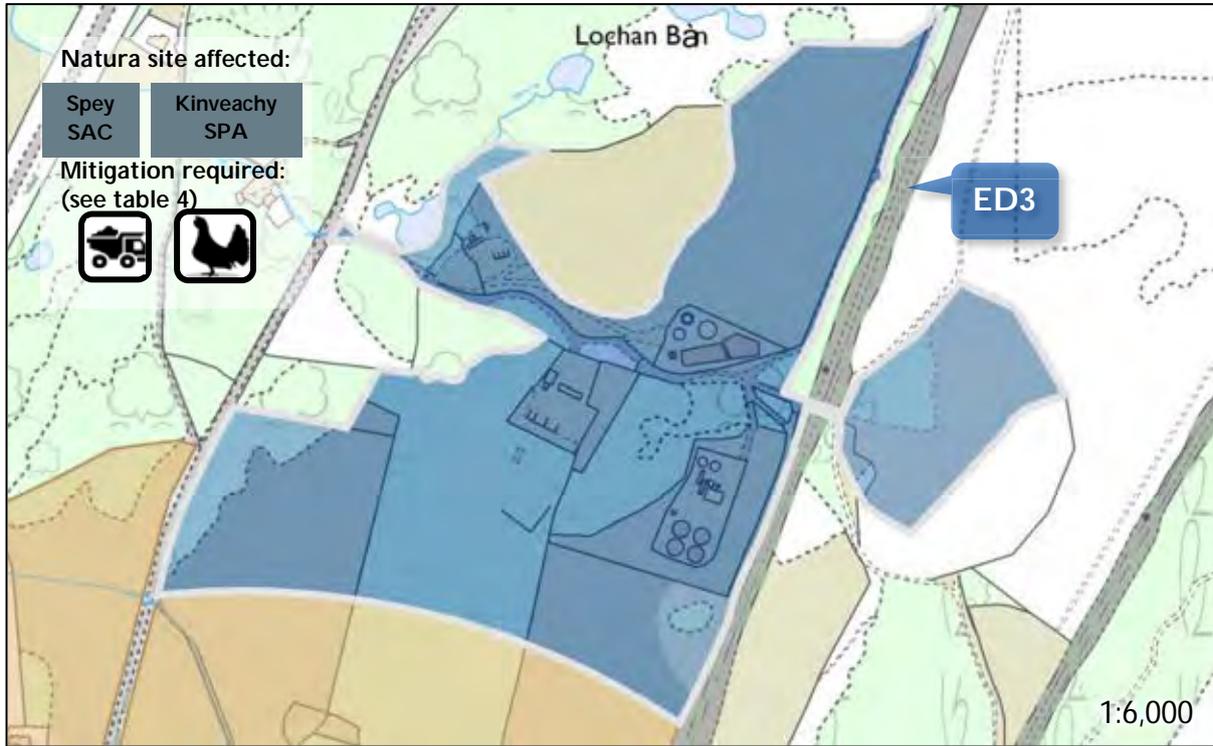
Opportunities exist for small economic growth to complement the existing Myrtlefield Industrial Estate and any new developments should also seek to enhance the area and its surroundings.



A Drainage Impact Assessment will be required to support any further development proposals and should address existing surface water flooding issues.

**ED3: Granish  
Allocated for Economic Development**

16 ha



Opportunities for economic growth to complement the existing refuse site and adjacent uses exist. Any new development proposals should seek to enhance the area and its surroundings whilst taking into account previous uses on the site and potential contaminated land issues.



Development proposals should seek to protect and integrate with existing path networks, notably the Speyside Way which runs along the boundary of the site.



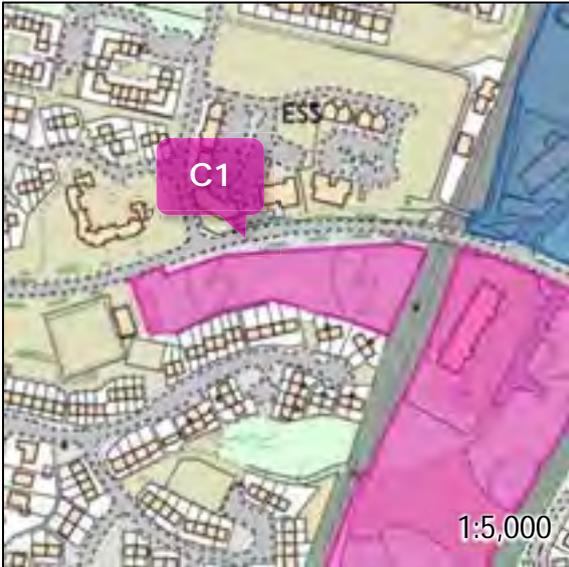
Owing to the presence of small watercourses, a Flood Risk Assessment or other supporting information will be required to identify the functional floodplain and developable area.



A Drainage Impact Assessment is required and should address existing surface water flooding issues. Consideration should also be given to the potential for watercourse realignment/restoration along straightened sections of existing watercourses in and adjacent to the site.

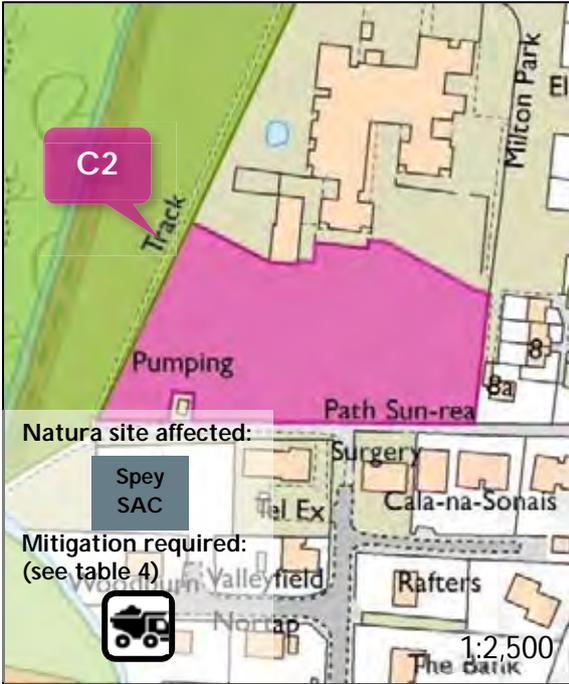


Landscaping and structure planting will be required to ensure integration of the development with the surrounding landscape and ancient woodland to the north of the site.



**C1: Land at Dalfaber Drive  
Allocated for Community  
Uses** **0.7  
ha**

Land at Dalfaber Drive between the Bowling Green and Main Railway Line provides an important community resource and will be protected for community use.



**C2: Former School playing  
fields  
Allocated for Community  
Uses** **0.6  
ha**

Land at the former school playing fields should be protected from inappropriate development. The land adjacent to the old primary school is therefore allocated for community use.



Low to medium probability of flood risk on site. Depending on the proposed use of the site, a Flood Risk Assessment may be required. It should identify the developable area.



A Drainage Impact Assessment may be required and should address existing surface water flooding issues. Various waste water mains and a pumping station are located within this site.



**C3: Land south of Dalfaber Industrial Estate** 4.8  
**Allocated for Community Uses** ha

Land south of Dalfaber Industrial Estate and the former Cairngorm Technology Park provides an important community resource and will be protected for community use. The site is the proposed location of the new Aviemore Hospital.



A Drainage Impact Assessment may be required to address surface water flooding.

An Camas Mòr  
Strategic consent

Indicative Residential  
Capacity:  
1500 units

136.6  
ha



The proposed new settlement of An Camas Mòr will be a new sustainable community. The consent forms a strategic part of the overall housing land supply for the Badenoch and Strathspey part of the National Park. While it is likely to take many years to be completed, it will then be a strategic settlement. In the short term, An Camas Mòr will rely on the services of Aviemore, however it will progressively relieve pressure from the existing settlement, becoming a new community in its own right.



A Recreation Management Plan (RMP) will be required covering:

1. Prevention of informal parking at track and access entrances to Drumintoul lodge and Atnahatnich farm.
2. New path provision in Loch Pityoulish area to provide suitable alternative

walking area to east of ACM (drawing potential visits away from the woodlands around the Drumintoul lodge).

3. Diversionary car parking in vicinity of Loch Pityoulish linking to new paths in area Path closure in vicinity of Lodge from Coylum Road and reconsidering the link proposed in indicative masterplan.
4. Awareness raising, promoting alternative locations for recreation and avoiding recreation in this sensitive areas through off site measures, (eg media/leaflets Ranger events targeted at ACM residents).
5. Ranger presence during key season in vicinity of sensitive areas.
6. Provision of a network of attractive paths in and around ACM with access to areas that are not sensitive.
7. Provision of a range of attractive areas for dog walking (including off-lead dog walking) on ACM site and Rothiemurchus Estate area away from capercaillie sensitive areas.
8. Development of MTB opportunities on Pityoulish Hill and woods.
9. Diversionary Car Parking at Loch an Eilein. Free parking or equivalent measures for ACM residents early mornings and late in afternoons.
10. Removal of new informal paths within sensitive parts of Rothiemurchus this area if they develop.

In addition to the RMP, mitigation measures will be required to restrict informal parking opportunities at track ends and laybys along the B970 north to the junction with Boat of Garten and south to Feshie Bridge where they provide quick access to caper woods.



Should the existing permission expire or be varied, a revised Flood Risk Assessment will be required to identify the functional floodplain and developable area of the site. Any new pedestrian or road access crossing the River Druie or River Spey will require a detailed Flood Risk and Hydromorphological Assessment to inform its design. A Drainage Impact Assessment will be required and should address existing surface water flooding issues.



Landscaping and structure planting will be required to ensure integration of the development with the surrounding landscape and ancient woodland to the north of the site.



Any proposal, including the provision of associated services, must consider the impact on cultural heritage assets including the scheduled monument within the site, considering disturbance above and below ground, and any impact made both to individual resources and in a cumulative manner. Mitigation for potential direct impacts upon assets including the scheduled monument should also be given due attention.



Connection to the public sewer will be required once the first phase of development is complete. However, an interim solution may be acceptable where this accords with the Resources policy. Scottish Water should be contacted at an early stage in relation to water and waste water supplies.



An Camas Mòr will be a community in its own right, but by virtue of its location, it will have a special relationship with Aviemore. Many of the services used by residents of the community will be in Aviemore and over time this will be reciprocated. There is a longstanding expectation locally, that the land on either side of the River Spey should be made available as a resource for the Aviemore and An Camas Mòr communities for recreation and leisure with potential for sports facilities, playing fields, paths, woodland, and allotments and others.

Fundamental to the site's delivery is a new foot/cycle bridge across the River Spey with a path directly linking central Aviemore and An Camas Mòr to ensure that the communities are true partners. The masterplan for An Camas Mòr will be expected to acknowledge this objective and demonstrate how An Camas Mòr, with other parties, will directly contribute to its delivery.

An Camas Mòr will seek to actively discourage the use of private cars through detailed design, early provision of regular and affordable public transport links, and provision of a network of paths for walkers and cyclists giving effective links within the community and with the surrounding area. Roads within the development will safely give priority to walkers/cyclists of all abilities and will seek to establish new standards for informal layout and design which The Highland Council will accept for adoption. Account should be taken of the priorities and recommendations set out in the HITRANS Aviemore Active Travel Audit.



Proposals should incorporate and enhance recreational infrastructure, ensuring adequate space for the needs of the growing community. A recreation management plan will be required to ensure that the offsite effects of recreation do not adversely impact on the area's natural heritage.



A Masterplan for An Camas Mòr will be required.

# BALLATER

BALLATER is the largest settlement in the Aberdeenshire part of the National Park, playing a strategic role in this part of Upper Deeside. The town is characterised by its built heritage and strong royal connections. It is also a key service centre providing for the surrounding rural communities and visitors to the area.

## Settlement objectives

- Conserve and enhance Ballater's distinctive built heritage and the integrity of its Conservation Area
- Increase the attraction of Ballater as a business, tourist and recreation destination
- Deliver housing that meets local need and affordable housing, including low cost ownership and affordable housing for rent
- Increase and enhance flood management and resilience

## Developer obligations

### Affordable housing

All housing developments should include 45% affordable housing

### Planning obligations

Contributions will be sought from any housing developments towards:

- Aboyne Academy
- Ballater Medical practice

### Other infrastructure considerations

- Waste Water Treatment Works capacity



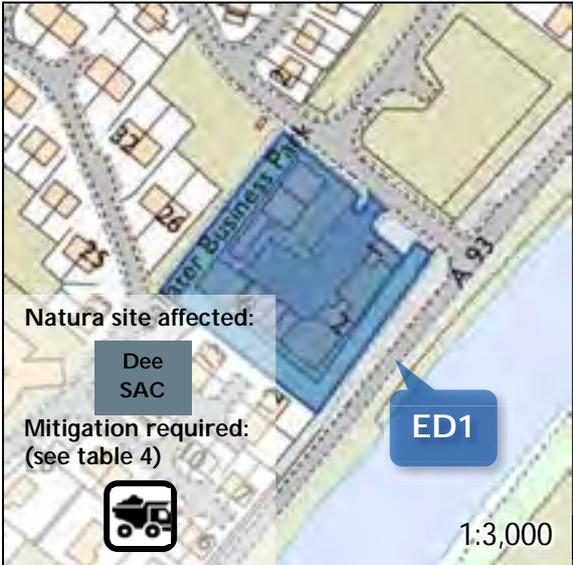
# PROPOSALS

<b>H1: Monaltrie Park</b> Allocated for Housing	<b>Indicative Residential Capacity:</b> 250 units	<b>8.1</b> ha
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The site is allocated for up to 250 dwellings in total. It is proposed that the first phase of 50 dwellings will be delivered in the current plan period, with the remainder for delivery beyond 2025. In addition, there is capacity for other mixed uses including business and community uses. A masterplan for the whole site will be required as part of any planning application. The boundary of the development area and new open space is indicative. The boundary should be clarified in the masterplan, which will also need to demonstrate how adequate parking for the Highland Games will be maintained.

- 
 Medium probability flood risk exists to the east and south of the site and the site itself may be affected by flood risk in the eastern corner. Aberdeenshire Council has commissioned a flood study for Ballater. Any site layout will need to take account of the functional flood plain, as defined in the Ballater Flood Study, and will require safe access and egress.
- 
 A Drainage Impact Assessment will be required and should address existing surface water flooding issues.
- 
 Landscaping and structure planting will be required to ensure integration of the development with the surrounding landscape and adjacent open space. Development in the northern part of the site should retain the existing orchard and woodland and must be sympathetic to the setting of Monaltrie House.
- 
 Development proposals should seek to protect and integrate with existing path networks, notably the Deeside Way which runs along the boundary of the site.
- 
 Development proposals should incorporate and enhance Monaltrie Park, ensuring adequate space for the use of existing sports pitches and parking for events.

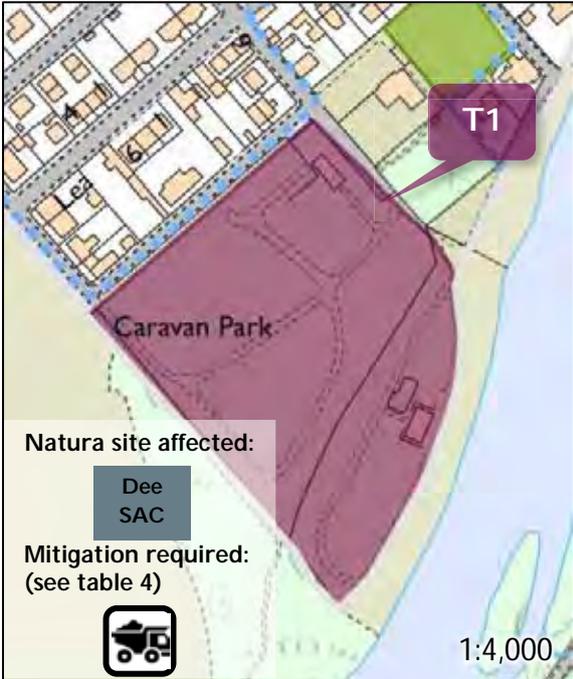


**ED1: Ballater Business Park**  
**Allocated for Economic Development** **0.6 ha**

The site is an existing Business Park owned by Aberdeenshire Council. The site is now largely developed and in operation and should be protected from adverse uses not compatible with economic development.



Medium to high probability flood risk lies within the site. A Flood Risk Assessment will be required to accompany any future planning applications.

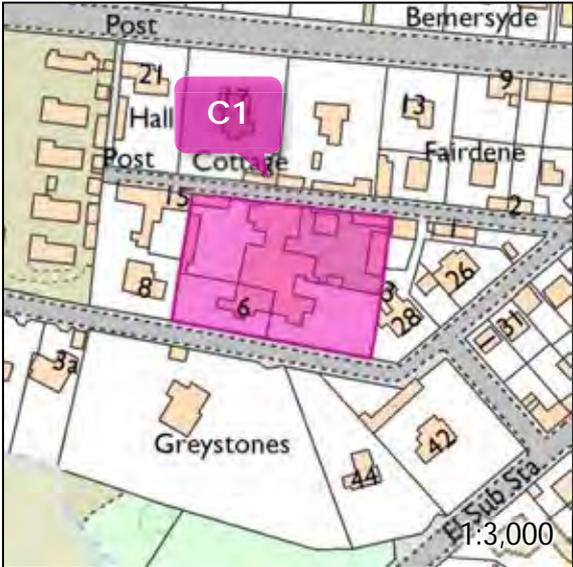


**T1: Caravan Park**  
**Allocated for Tourism** **2.7 ha**

An existing established caravan and camping site continuing to support the provision of tourism accommodation which should be protected from adverse development. Any significant change to the layout or any increase in the number of caravans onsite is unlikely to be supported due to flooding constraints.



Medium to high probability flood risk exists across the whole site. A Flood Risk Assessment will be required to accompany any future planning applications on the site.



**C1: Former School site**  
**Allocated for Community Uses** **0.4 ha**

The site of the former school provides an opportunity for development that can benefit the community. It currently has planning permission for 26 affordable dwellings.



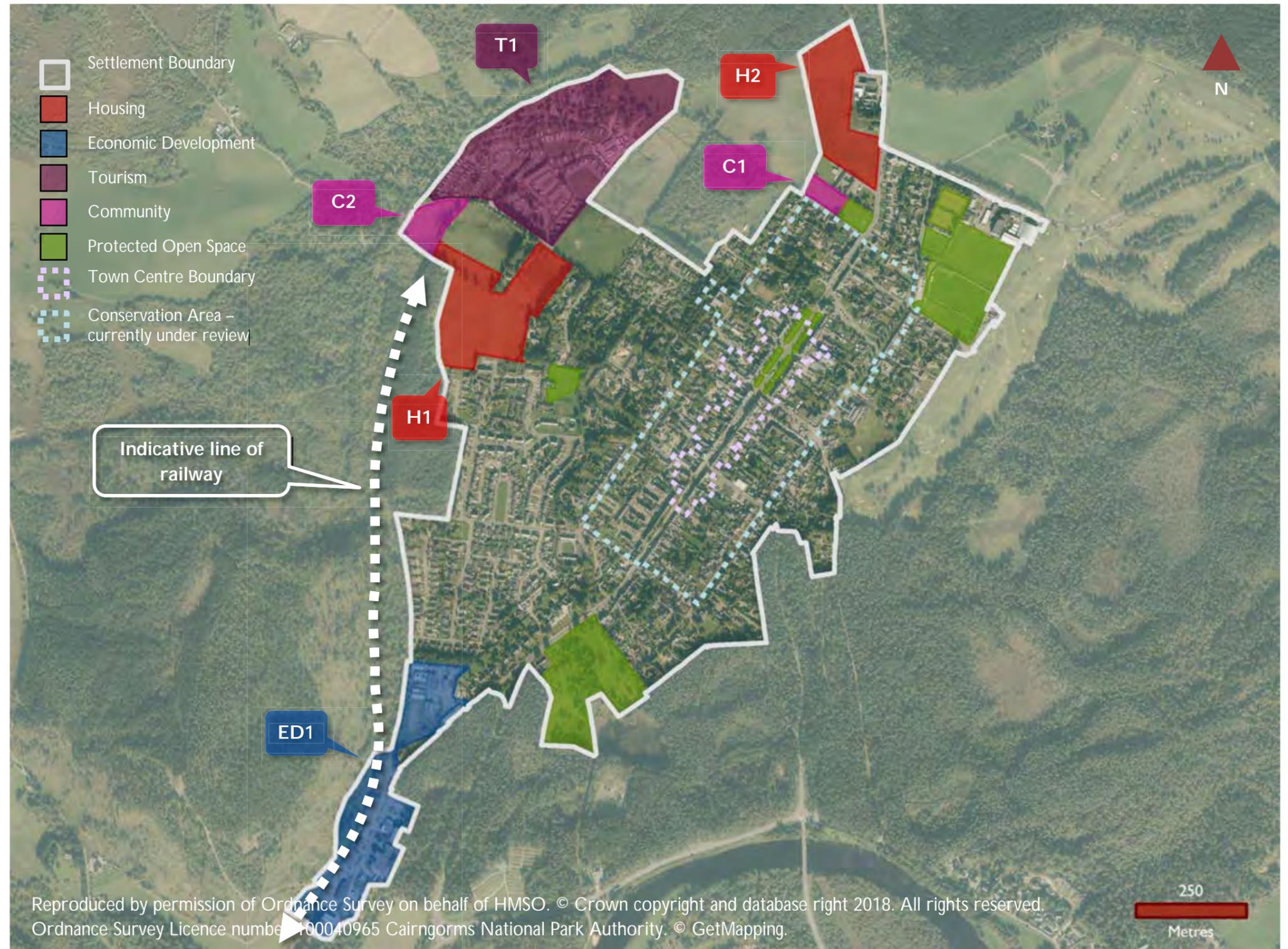
Former school building is listed and located within Ballater conservation area. Any revised planning applications for the site will need to be sensitively designed to reflect this.

# GRANTOWN-ON-SPEY

GRANTOWN-ON-SPEY lies in the north of the National Park. It was designed as a planned town and is the historic capital of Strathspey. The town itself has a wide range of businesses and facilities, many of which are located along the town's High Street and main Square.

## Settlement objectives

- Protect the role of Granttown-on-Spey as a service centre for Strathspey
- Conserve and enhance Granttown's distinctive built heritage and the integrity of its Conservation Area
- Support the delivery of housing that meets local needs
- Support opportunities to increase the attraction of Granttown as a tourist and recreation destination, particularly the Speyside Railway extension
- Support proposals for business development, growth and diversification
- Maintain a range of community facilities
- Support proposals for safe active travel around Granttown and beyond to Dulnain Bridge and Carr-Bridge



## Developer obligations

### Affordable housing

All housing developments should include 25% affordable housing

### Planning obligations

Contributions will be sought from any housing developments towards:

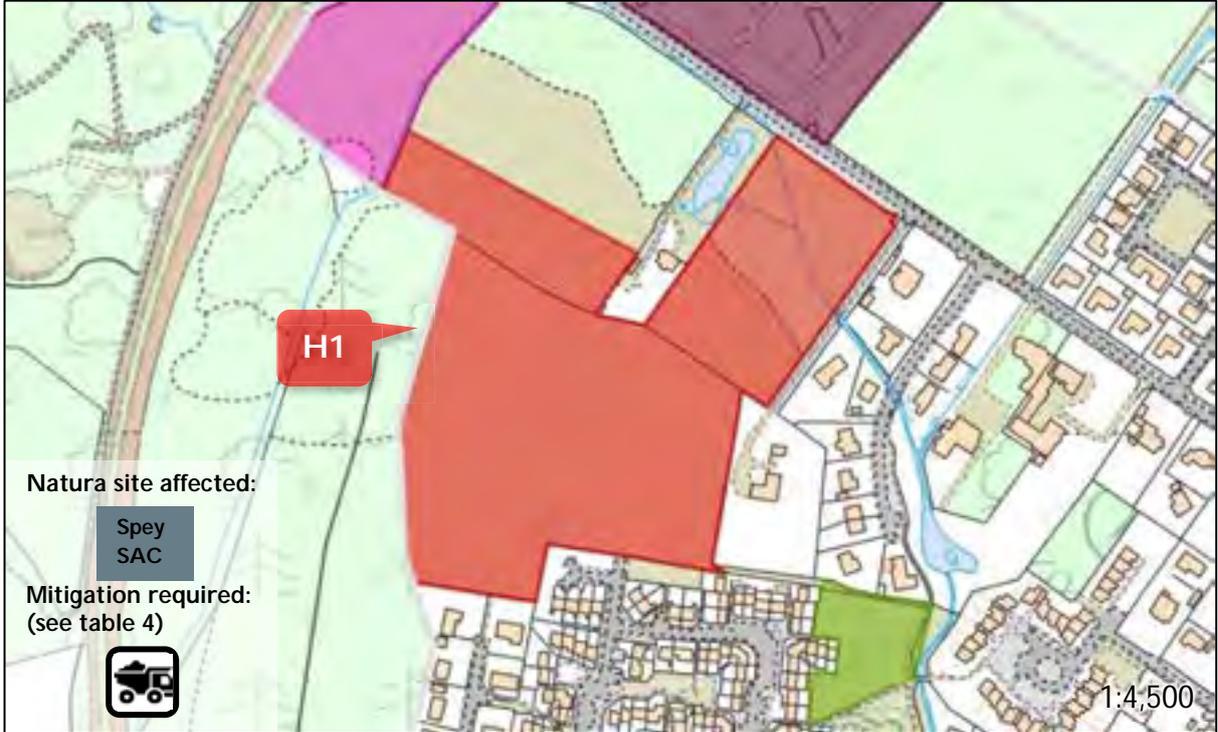
- Increasing capacity at strategic community leisure facilities serving Granttown

### Other infrastructure considerations

- Waste Water Treatment Works capacity

# PROPOSALS

H1: Beachen Court Allocated for Housing	Indicative Residential Capacity: 53 units	5.1 ha
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The site has an approved Development Brief and an existing planning permission for 53 dwellings. It is currently under construction. Any future / amended development proposals should be in general accordance with the principles in the Development Brief.

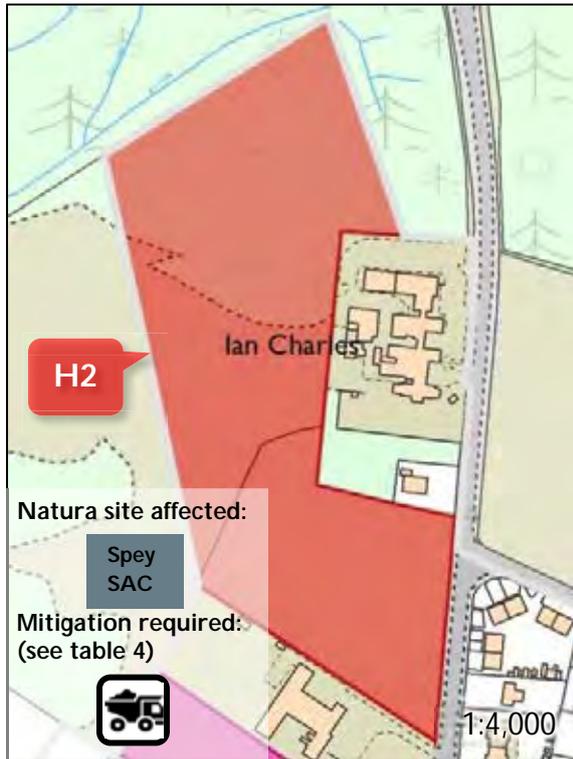
Should the extant permission expire or be varied:



A revised Flood Risk Assessment will be required.



A revised Drainage Impact Assessment will be required and any new development must take account of and ensure integration with the existing SuDS scheme.



<b>H2: Castle Road</b>	<b>Indicative Residential Capacity:</b>	<b>3.6 ha</b>
<b>Allocated for Housing</b>	<b>50 units</b>	

The site is allocated for up to 50 dwellings. A masterplan for the whole site will be required as part of any planning application.



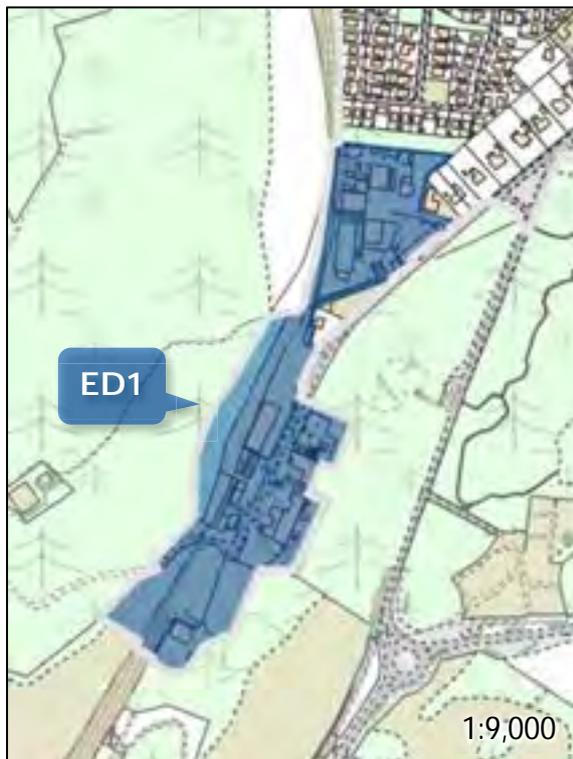
There are small watercourses on the boundary of the site and a Flood Risk Assessment will be required.



Landscaping and structure planting will be required to ensure integration of the development with the surrounding landscape and ancient woodland to the north of the site.



A Drainage Impact Assessment is required and should address existing surface water flooding issues. Enhancement of the small watercourses running through the site, which have been historically straightened, is encouraged.



<b>ED1: Woodlands Industrial Estate</b>	<b>7.4 ha</b>
<b>Allocated for Economic Development</b>	

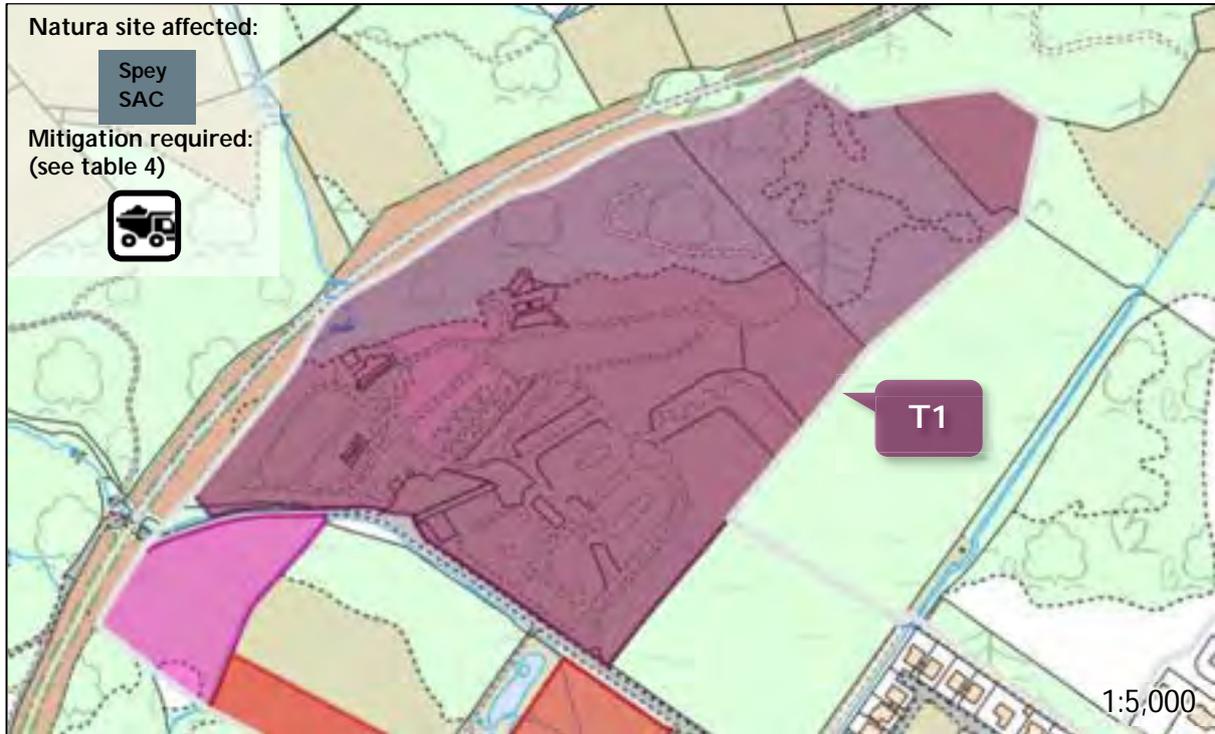
The site is an existing Industrial Estate. It is largely developed and in operation with some capacity for future economic development. It should be protected from adverse uses not compatible with economic development. Any future proposals should complement existing uses and seek to enhance the area and its surroundings.



Proposals for further development on the site would require a Drainage Impact Assessment, which should address existing surface water flooding issues. Enhancement of the small watercourses running through the site, which have been historically straightened, is encouraged. A water trunk main runs through this site.

**T1: Caravan Park  
Allocated for Tourism**

**11.3  
ha**



An existing established caravan and camping site continuing to support the provision of tourism accommodation and should be protected from adverse development. There is some capacity for further development, particularly in the north eastern part of the site. Any future development on the site must be for tourism uses and compatible with the existing operational business.



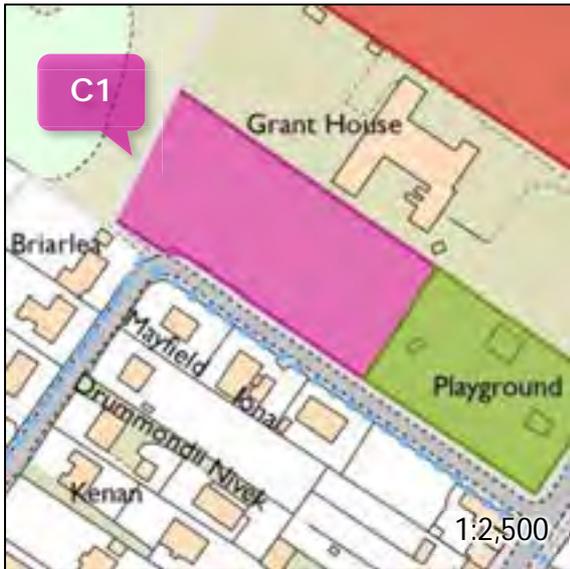
Medium to high probability of flood risk adjacent to the site. Further development or any proposed increase in caravan numbers will require a Flood Risk Assessment to identify the functional floodplain and developable area.



Landscaping and structure planting will be required to ensure integration of the development with the surrounding landscape and ancient woodland on and adjacent to the site.



Enhancement of the small watercourses running through the site, which have been historically straightened, is encouraged.

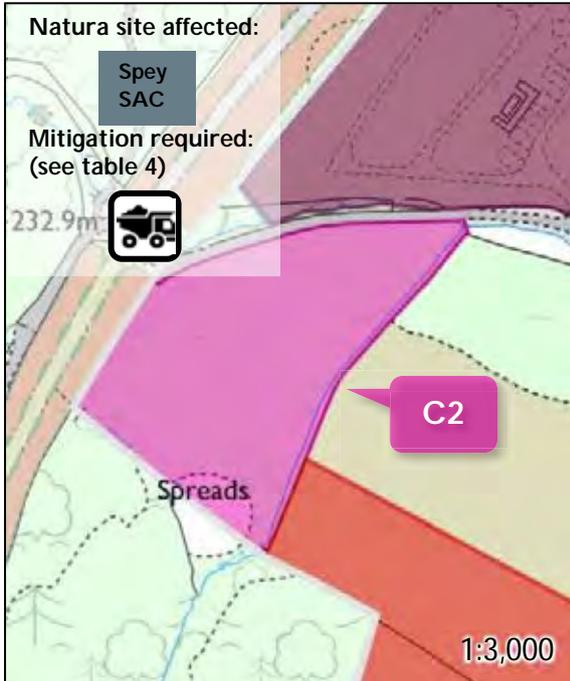


**C1: Mossie Road**  
**Allocated for Community**  
**Uses** **0.5**  
**ha**

The site lies adjacent to an existing playpark and provides an opportunity for development within Granttown that can benefit the community.



A Drainage Impact Assessment will be required.



**C2: Strathspey Railway extension**  
**Allocated for Community**  
**Uses** **1**  
**ha**

The site is allocated for the future terminus for the proposed Speyside Railway extension. A community project is currently being progressed to extend the Strathspey Railway from its current terminus at Broomhill to Granttown.



Owing to the presence of small watercourses and an area of medium to high probability of flood risk adjacent to the site, a Flood Risk Assessment is required to identify the functional floodplain and developable area.



A Drainage Impact Assessment is required. Enhancement of the small watercourses running through the site, which have been historically straightened, is encouraged. A water main runs through this site.



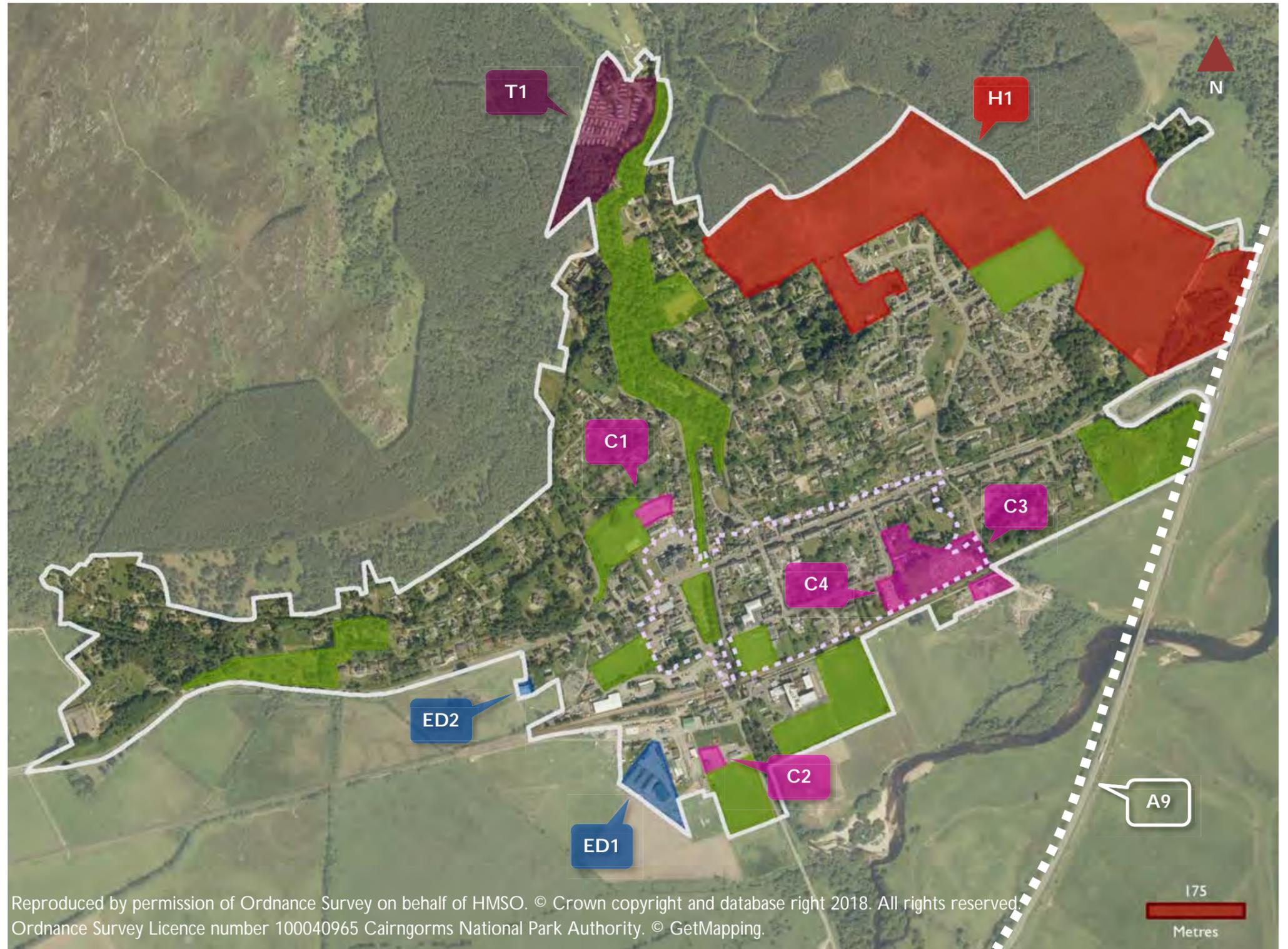
Landscaping and structure planting will be required to ensure integration of the development with the surrounding landscape and woodland to the west of the site.

# KINGUSSIE

KINGUSSIE is the historic capital of Badenoch and a traditional Highland town with a long central High Street. The town has a thriving community and is a focus for local services and facilities. Future development should complement the historic character of the town and enhance economic development and tourism.

## Settlement objectives

- Support Kingussie's role as a service centre for Badenoch
- Support proposals for business development, growth and diversification
- Improve tourist and recreation facilities
- Support the delivery of housing to meet local needs, particularly affordable housing
- Ensure Kingussie's built heritage is preserved and enhanced
- Support the regeneration of Am Fasgadh
- Increase and enhance flood management and resilience
- Support opportunities that utilise the benefits of the A9 dualling for Kingussie



## Developer objectives

### Affordable housing

All housing developments should include 25% affordable housing

### Planning obligations

Contributions will be sought from any housing developments towards:

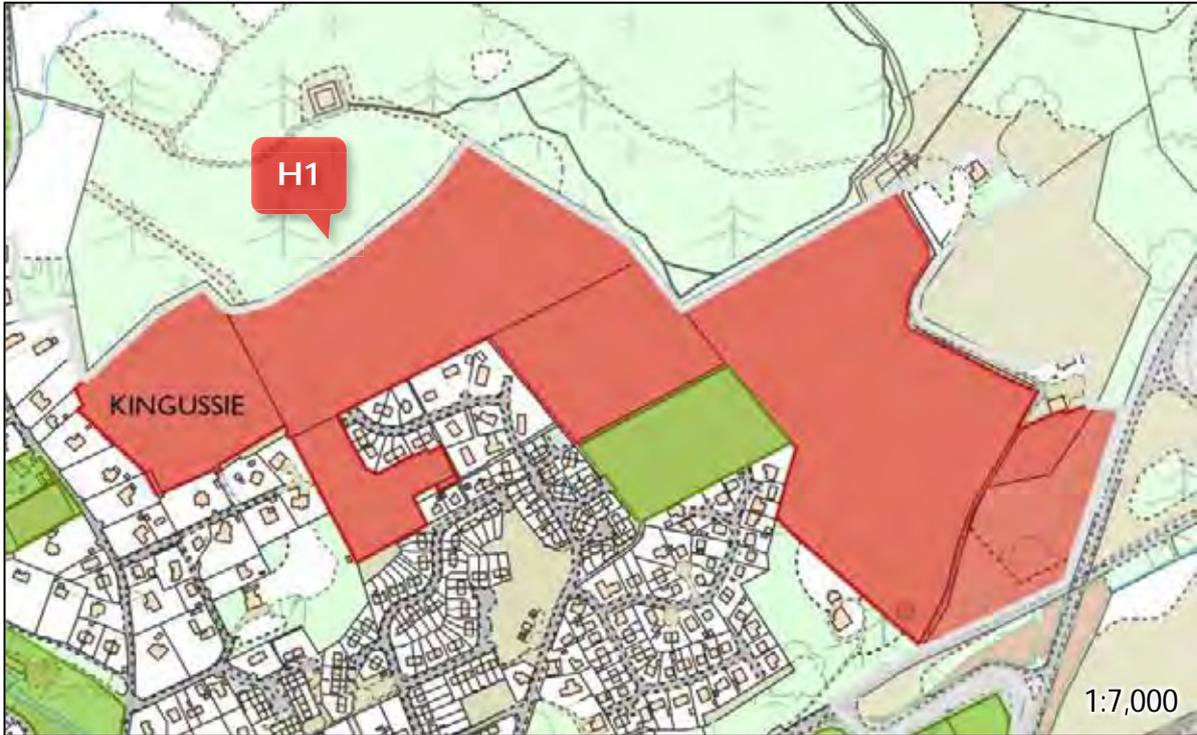
- An extension to Kingussie High School
- Increasing capacity at strategic community leisure facilities serving Kingussie

### Other infrastructure considerations

- Waste Water Treatment Works capacity

# PROPOSALS

H1: Land between Ardbroilach Road and Craig an Darach Allocated for Housing	Indicative Residential Capacity: 300 units	19.6 ha
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The site has existing outline consent for a Masterplan for the phased development of 300 dwellings with capacity for economic development and community uses. Any future proposals on the site should comply with the approved Masterplan. The site will provide for housing demand in Kingussie over the plan period and beyond 2025.



A Drainage Impact Assessment is required and should assess potential surface water flooding. A water main runs through this site.



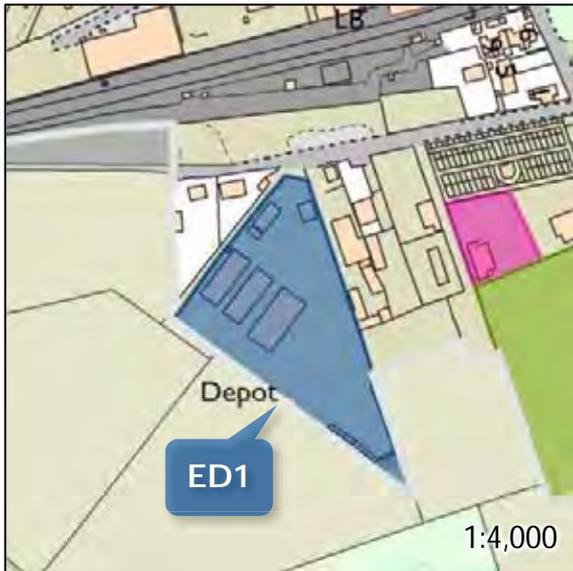
Landscaping and structure planting will be required to ensure integration of the development with the surrounding landscape and ancient woodland surrounding the site.



Appropriate transport access will be required to service the site from the A86 Trunk Road.



Development proposals should incorporate and enhance the area of protected open space along the southern boundary of the site, accessed via Dunbarry Terrace.



**ED1: Council Depot  
Allocated for Economic  
Development**

**0.9  
ha**

The council depot provides much needed economic development in the community and should be protected from adverse development or any reduction in facilities which support the wider economy.



Medium to High probability flood risk exists on part of the site. A Flood Risk Assessment will be required to accompany any further development proposals.



A Drainage Impact Assessment is required and should assess surface water flooding.



**ED2: McCormacks Garage  
Allocated for Economic  
Development**

**0.1  
ha**

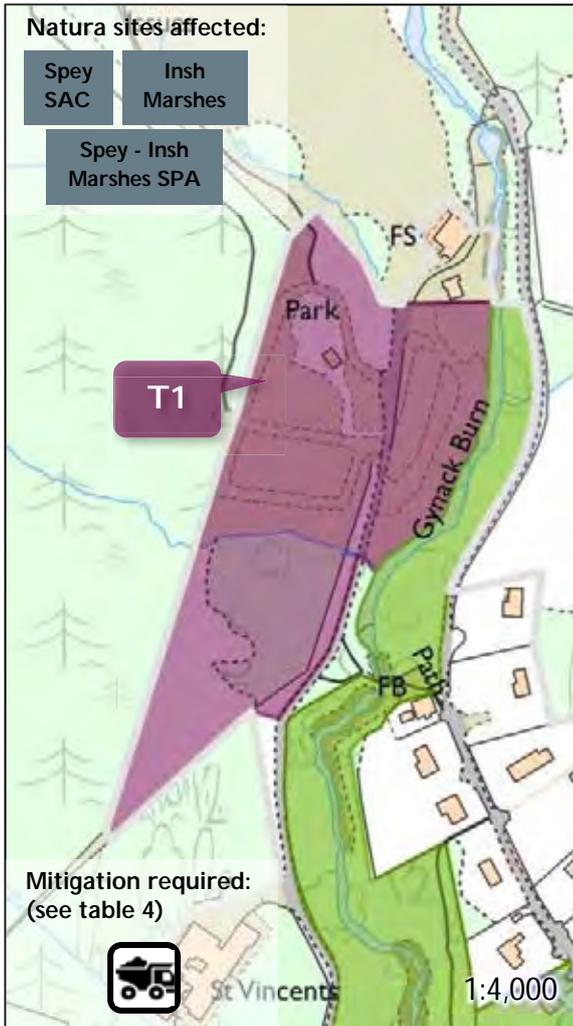
A small area of land that is currently occupied by a garage. Allocated to protect the site from adverse uses not compatible with economic development.



Medium to High probability flood risk surrounds the site. A Flood Risk Assessment or other supporting information will be required to accompany any further development proposals.



Sewer mains cross this site.



**T1: Kingussie Golf Club Caravan Park Allocated for Tourism** **2.7 ha**

An existing established caravan and camping site which plays an important role in supporting the provision of tourism accommodation within Kingussie. The site should be protected from adverse uses which are not compatible with tourism development. There is some capacity for further development, particularly on the south western part of the site. Any future development must be for tourism uses and compatible with the existing operational business.



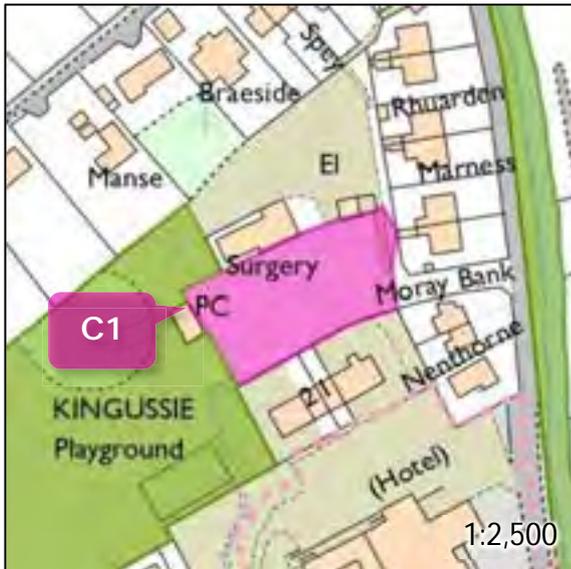
Medium to High probability flood risk across parts of the site. A Flood Risk Assessment will be required to accompany any further development proposals to identify the functional floodplain and inform site layout.



A Drainage Impact Assessment may be required to assess surface water flooding issues. A water main crosses this site.



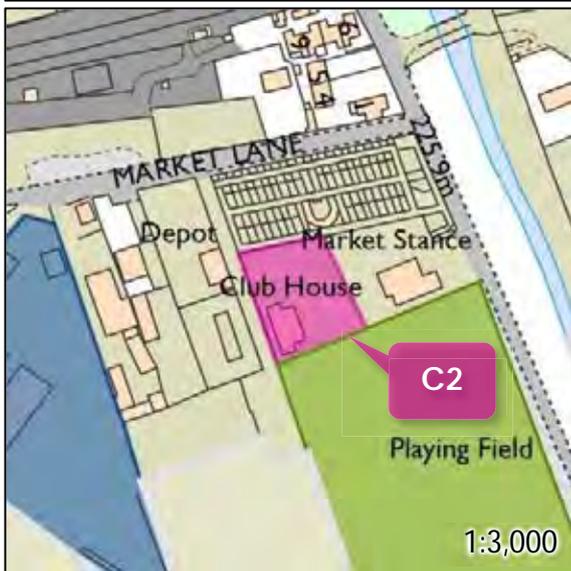
Landscaping and structure planting will be required to ensure integration of the development with the surrounding landscape and ancient woodland surrounding the site.



**C1: Ardvoonie Car Park  
Allocated for Community  
uses**

**0.2  
ha**

Community car park identified in recognition of the role it serves in supporting the needs of the community. The site will be protected from alternative forms of development.



**C2: Car Park  
Allocated for community  
uses**

**0.2  
ha**

Community car park identified in recognition of the role it serves in supporting the needs of the community. The site will be protected from alternative forms of development.



**C3: Land west of Spey Street  
(Am Fasgadh)  
Allocated for community uses**

**1.9  
ha**

The site lies to the west of Spey Street and adjacent to the railway line. It is identified to support the reuse and redevelopment of the site for community uses.



Medium to High probability flood risk exists across the site. A Flood Risk Assessment will be required to identify the developable area.



A Drainage Impact Assessment is required and should assess surface water flooding. Various water and sewer mains cross this site.



**C4: Car Park**  
Allocated for community  
uses

0.2  
ha

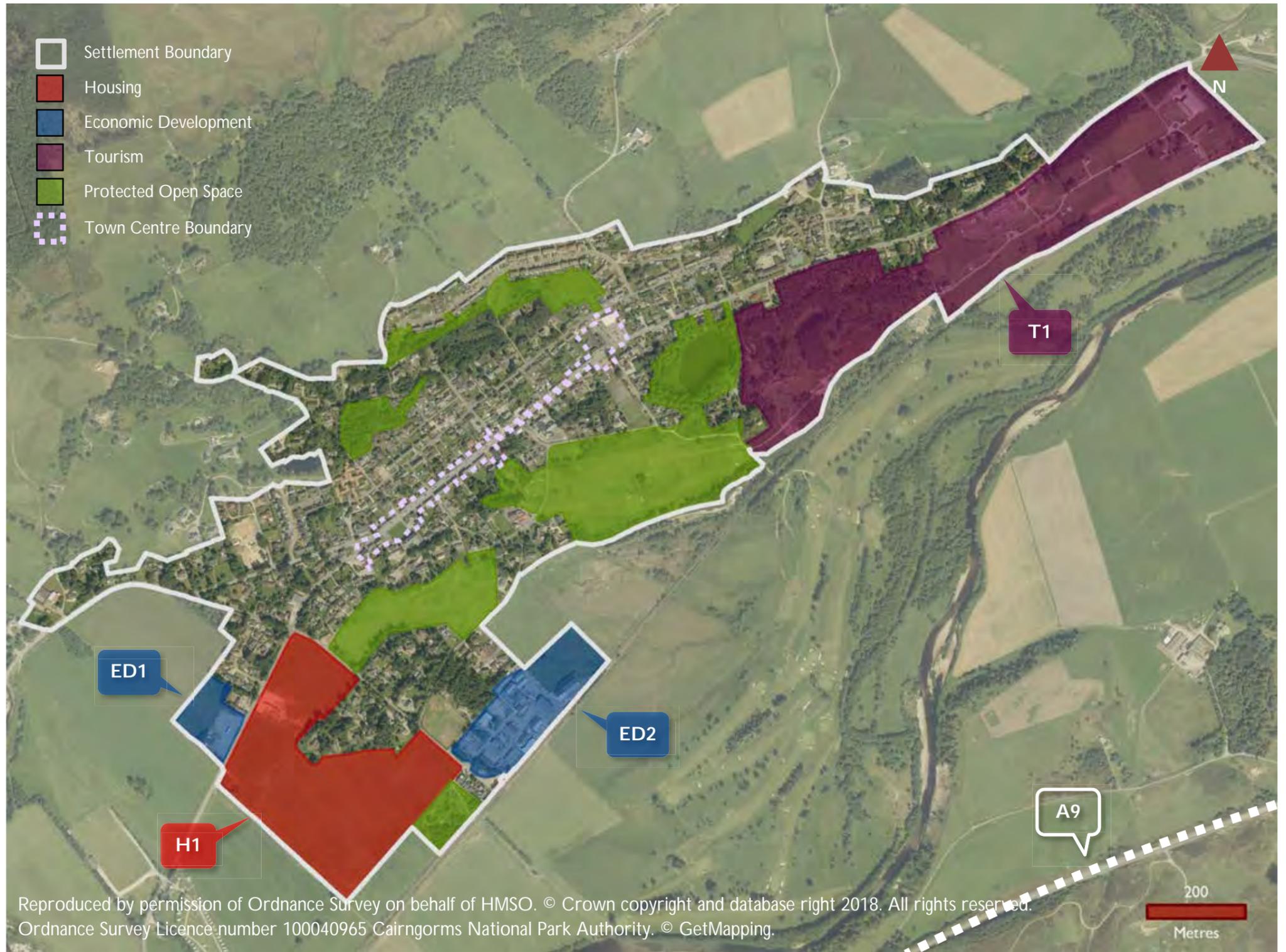
Community car park identified in recognition of the role it serves in supporting the needs of the community. The site will be protected from alternative forms of development.

# NEWTONMORE

NEWTONMORE is a traditional highland village located in south Badenoch. The village contains a number of local services and is also home to the Highland Folk Museum which attracts many visitors to the village.

## Settlement objectives

- Support and enhance local services
- Support opportunities to increase the attraction of Newtonmore for tourism and recreation
- Support proposals for business growth, diversification and development
- Support the delivery of housing to meet local needs
- Increase and enhance flood management and resilience
- Support opportunities that utilise the benefits of the A9 dualling for Newtonmore



## Developer obligations

### Affordable housing

All housing developments should include 25% affordable housing

### Planning obligations

Contributions will be sought from any housing developments towards:

- An extension to Kingussie High School
- Increasing capacity at strategic community leisure facilities serving Newtonmore

# PROPOSALS

H1: Land between Perth Road and Station Road  
Allocated for Housing

Indicative Residential Capacity:  
120 units

11.9  
ha



The site is allocated for a total of 120 dwellings. There is currently an existing planning consent on part of the site for 81 dwellings. As a visually prominent site, the design of any detailed proposals must take account of the sensitive setting of the village, and should be designed in a way which promotes the highest standards of access, layout, building design and public realm.



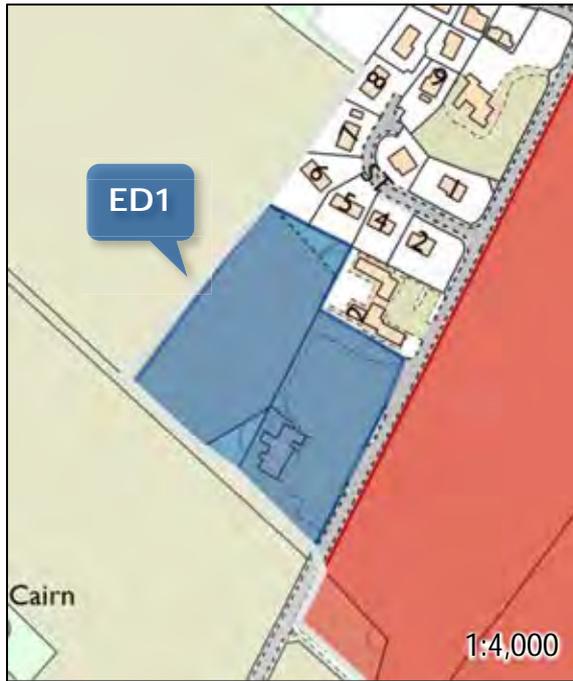
Medium to High probability flood risk exists in the southern part of the site. A Flood Risk Assessment will be required to identify the developable area for any further development proposals.



A Drainage Impact Assessment may be required to address surface water flooding. Sewer mains run through this site.



Landscaping and structure planting will be required to ensure integration of the development with the surrounding landscape.



**ED1: Rear of Cafe  
Allocated for Economic  
Development**

**1.3  
ha**

Land to the rear of the café provides some opportunity for low impact economic development to support the sustainability of the community.



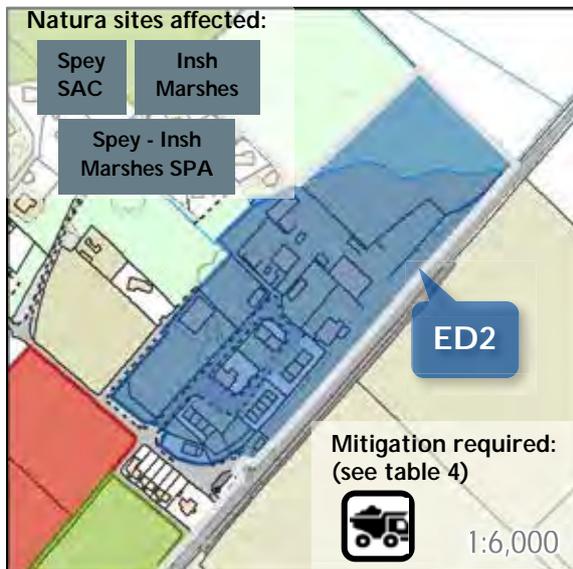
Medium to High probability flood risk adjacent to the site. A Flood Risk Assessment or other supporting information will be required to identify the functional floodplain and developable area.



A Drainage Impact Assessment would be required to accompany development proposals.



Landscaping and structure planting will be required to ensure integration of the development with the surrounding landscape.



**ED2: Industrial Park  
Allocated for Economic  
Development**

**4 ha**

The existing industrial estate/business park will be protected and developments which consolidate the economic provision of this site will be supported.



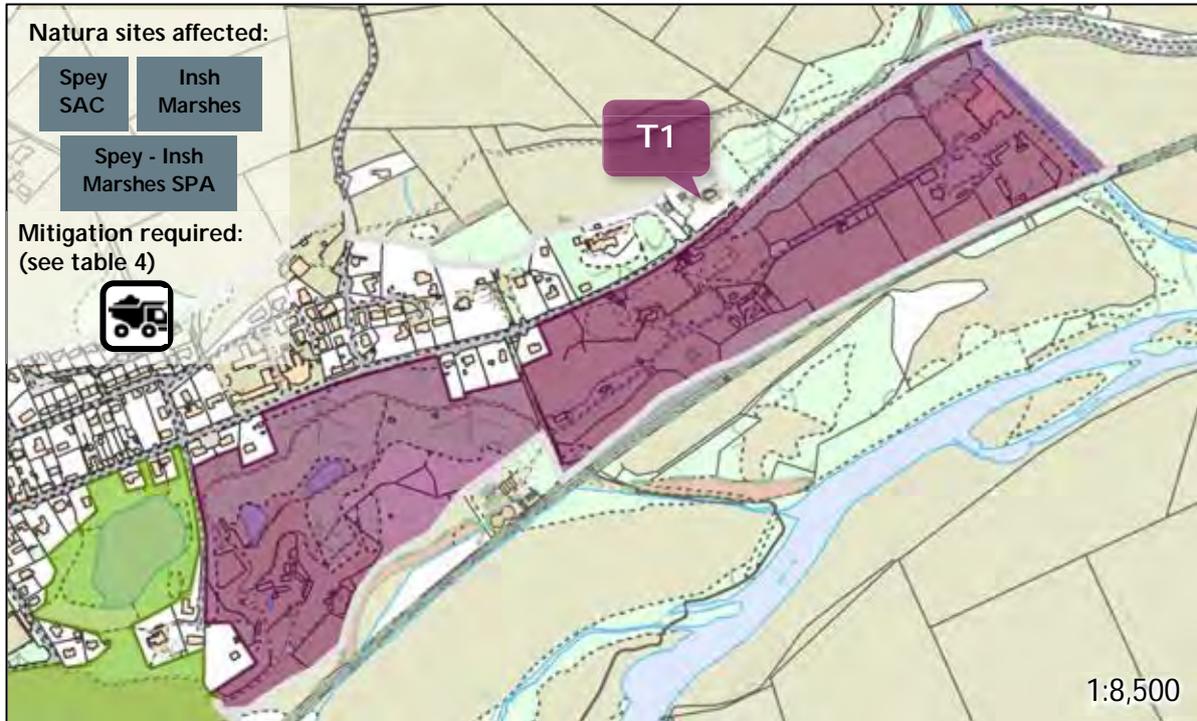
Low to High probability flood risk exists over a large part of the site. A Flood Risk Assessment or other supporting information will be required to identify the functional flood plain and developable area for any further development proposals.



A Drainage Impact Assessment would be required to address any further development proposals.

**T1: Highland Folk Museum  
Allocated for Tourism**

**20.3  
ha**



The Highland Folk Museum plays an important role in supporting the economy by increasing the attraction of Newtownmore for tourism and recreation. The site will therefore be protected from adverse development. Future development proposals should enhance the tourism offering and be compatible with the existing operational business.



Medium to High probability flood risk lies within and adjacent to the site. A Flood Risk Assessment may be required to accompany any further development proposals.



A Drainage Impact Assessment may be required to address any further development proposals and should address existing surface water flooding issues. Enhancement of the small watercourses running through the site, which have been historically straightened, is encouraged.

# BLAIR ATHOLL

BLAIR ATHOLL is a small village located in the south of the Cairngorms National Park. It is an attractive and historic village, home to Blair Castle and gardens, making it popular for visitors. The local economy is focused on tourism and land based employment.

## Settlement objectives

- Support Blair Atholl's role as a key gateway centre for recreation and tourism in this part of the National Park
- Conserve and enhance Blair Atholl's distinctive built heritage, the integrity of its Conservation Area and the setting of the village
- Support upgrades to the Village Hall
- Support proposals for safe active travel around the village and to surrounding settlements
- Deliver affordable housing
- Increase and enhance flood management and resilience
- Support appropriate inward investment opportunities arising from the A9 and Highland Main Line improvements
- Support opportunities that utilise the benefits of the A9 dualling for Blair Atholl

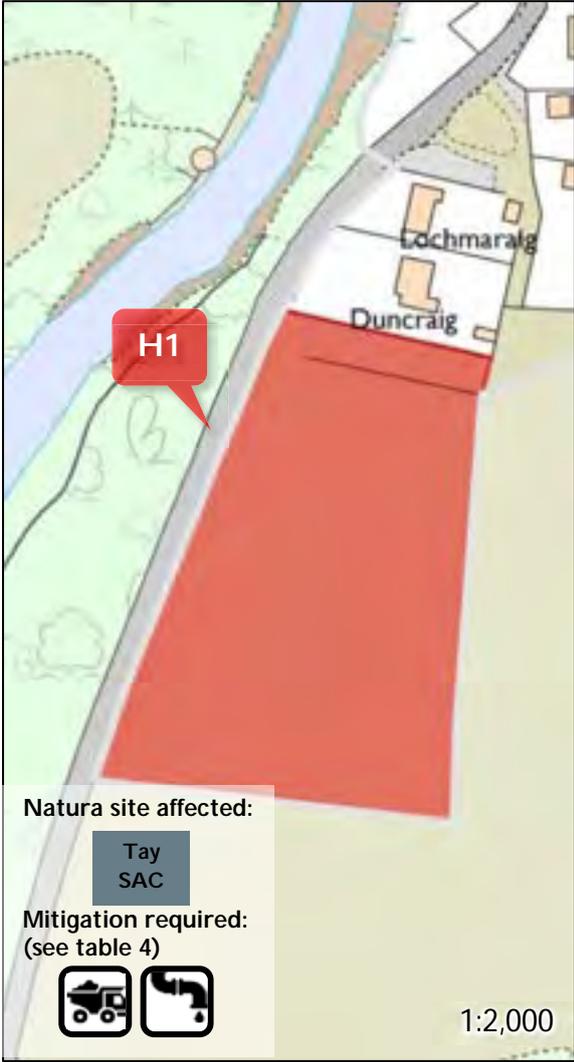
## Developer obligations

### Affordable housing

All housing developments should include 45% affordable housing



# PROPOSALS



**H1: Old Bridge of Tilt**  
**Allocated for Housing**

**Indicative Capacity: 1 ha**  
**20 units**

The site is allocated for up to 20 dwellings to contribute to meeting Blair Atholl's housing need. The development should seek to complement the existing character of Old Bridge of Tilt and ensure there is safe access between the site and the village.



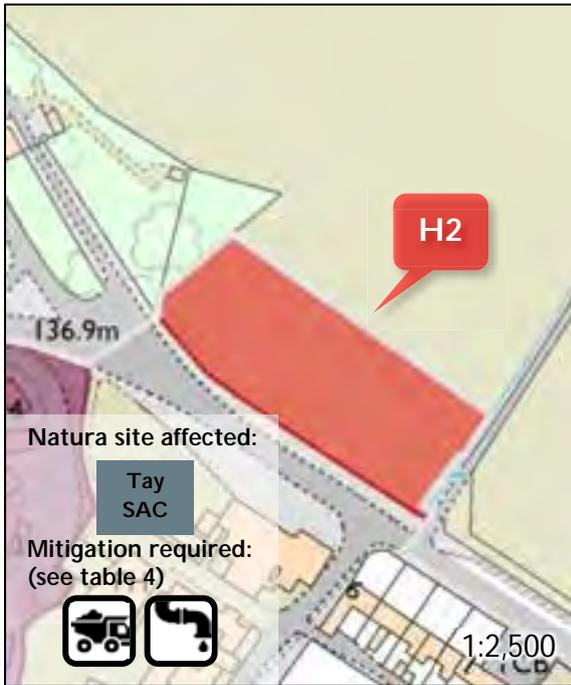
A Drainage Impact Assessment will be required and should assess potential surface water flooding. There is no Waste Water network within the vicinity of the site and the installation of a connection will be the responsibility of the developer. Depending on the size of the proposed development, further investigations such as a Water Impact Assessment and Flow and Pressure tests will be required. A water main runs through this site.



Landscaping and structure planting will be required to ensure integration of the development with the surrounding landscape.



Road improvements, specifically localised road widening around the entrance to the site, will be required.



**H2: Main Road Allocated for Housing**      **Indicative Capacity: 10 units**      **0.4 ha**

The site is allocated for up to 10 dwellings. Development on the site should seek to reflect the pattern of housing evident along the main road in Blair Atholl and positively contribute to the character of the village.



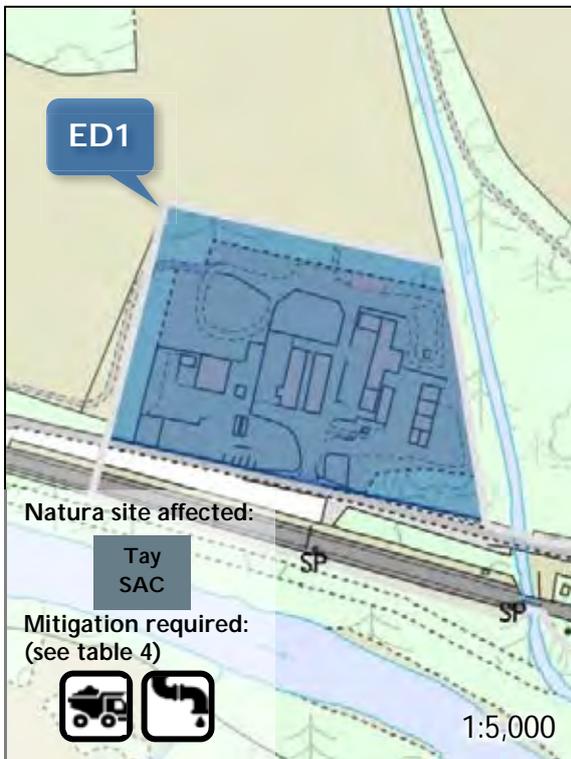
Due to the presence of a small watercourse, a Flood Risk Assessment will be required to identify the developable area.



A Drainage Impact Assessment is required and should assess potential surface water flooding. Depending on the size of the proposed development, further investigations such as Water Impact Assessment and Flow and Pressure tests will also be required.



Landscaping and structure planting will be required to ensure integration of the development with the surrounding landscape.



**ED1: Blair Atholl Sawmill Yard Allocated for Economic Development Uses**      **3.5 ha**

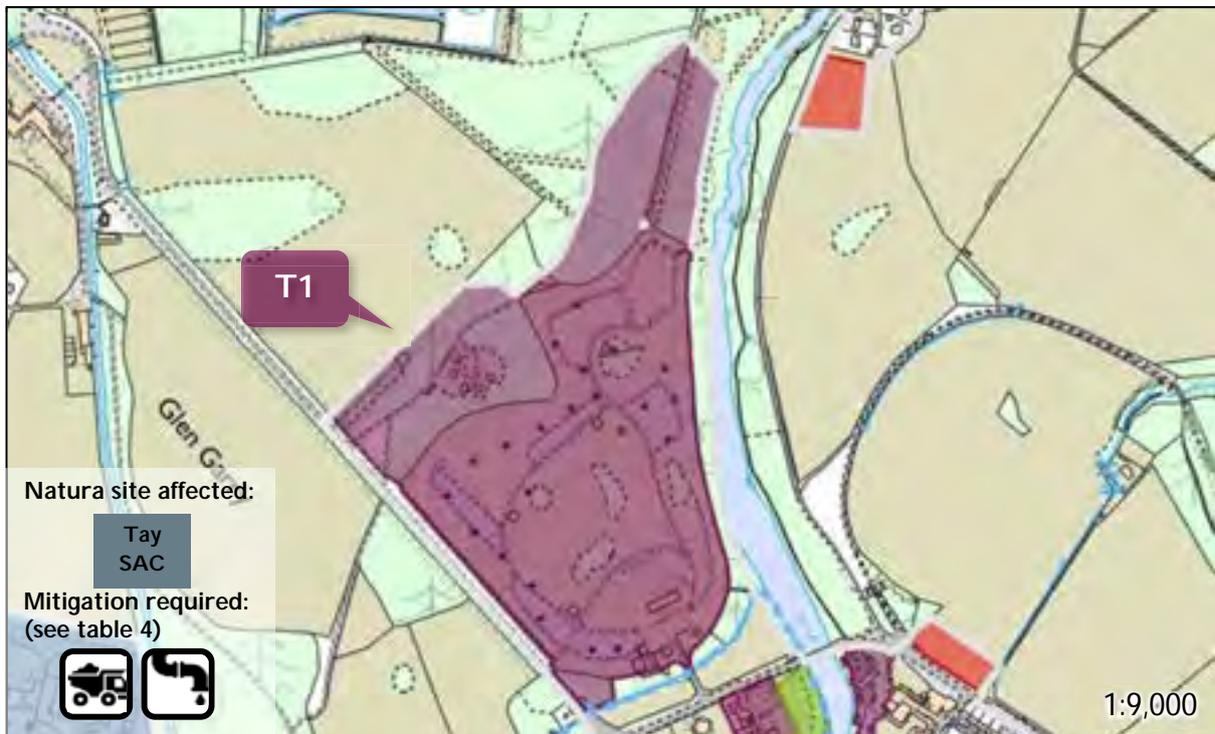
The site is an existing Industrial Estate. It is largely developed and in operation with some capacity for future economic development. It should be protected from adverse uses not compatible with economic development.



Medium to high probability flood risk exists on the site. Any proposals for further development on the site will require a Flood Risk Assessment.



A Drainage Impact Assessment will be required and should assess existing surface water flooding issues.



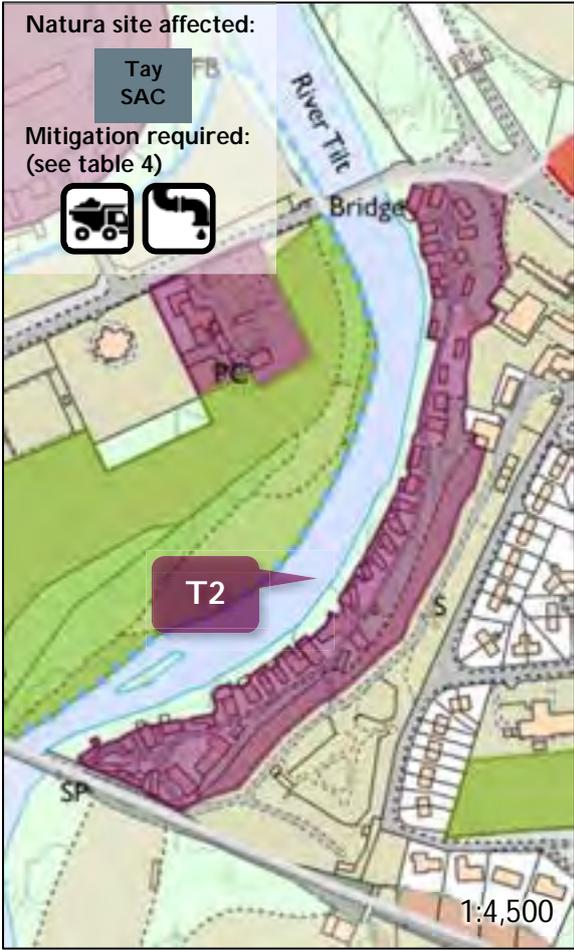
An existing established caravan and camping site continuing to support the provision of tourism accommodation and should be protected from adverse development. Any future development on the site must be for tourism uses and compatible with the existing operational business. Any development proposals should also have particular regard to the sensitive location of this site within the grounds of Blair Castle.



Medium to high probability flood risk exists adjacent to the site. Any proposals for further development or any increase in caravan numbers will require a Flood Risk Assessment to identify the functional floodplain and developable area.



A Drainage Impact Assessment will be required and should assess existing surface water flooding issues. Depending on the size of proposed development, further investigations such as Water Impact Assessment or Flow and Pressure tests will be required.



**T2: Caravan Park  
Allocated for Tourism**

**0.5  
ha**

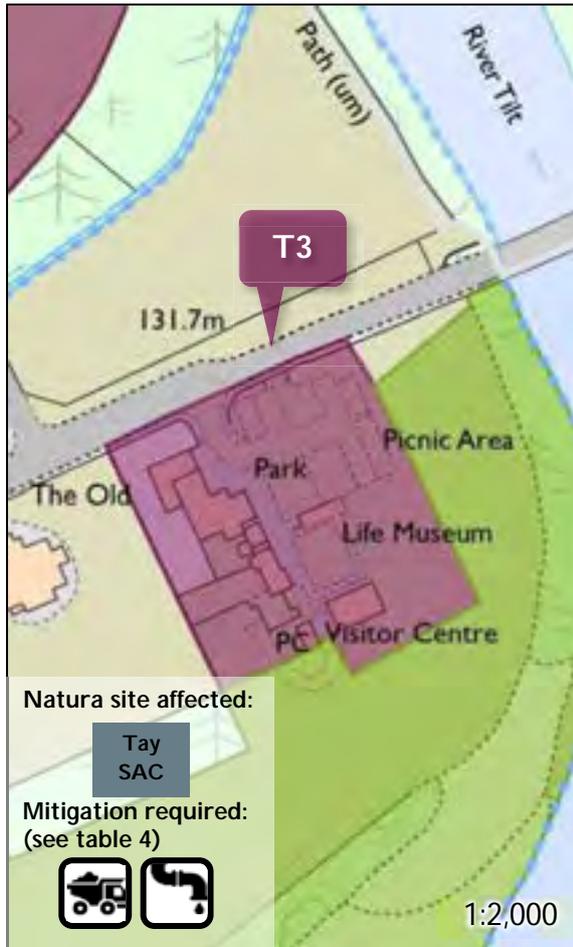
An existing established caravan and camping site continuing to support the provision of tourism accommodation and should be protected from adverse development. Any future development on the site must be for tourism uses and compatible with the existing operational business.



Any proposals for further development or any increase in caravan numbers will require a Flood Risk Assessment to identify the functional floodplain and developable area. The Flood Risk Assessment should assess the risk from all sources.



A Drainage Impact Assessment will be required to address surface water flooding. Depending on the size of proposed development, further investigations such as Water Impact Assessment or Flow and Pressure tests will be required.



**T3: Visitor Gateway  
Allocated for Tourism** **1.8  
ha**

The site has planning permission for a gateway centre including a new rangers'/interpretation building, new retail units, carpark, visitor square and site entrance. Much of this has been completed but there is some limited capacity for further development on the site.



Should the existing permission be varied, a Flood Risk Assessment will be required due to adjacent medium to high probability flood risk. Consideration will need to be given to any culverts/bridges which may exacerbate flood risk.



A Drainage Impact Assessment may be required to address surface water flooding. Depending on the size of proposed development, further investigations such as Water Impact Assessment or Flow and Pressure tests will be required.

# BOAT OF GARTEN

BOAT OF GARTEN is a thriving community and the village has a number of services that support the local community and visitors. The Strathspey Railway also stops in Boat of Garten and is a key visitor attraction in the village. No new housing allocations have been identified in the village as a result of environmental constraints. However, small scale housing proposals, particularly for affordable housing, may still be supported under the Plan's general Housing policy.

## Settlement objectives

- Support the delivery of housing to meet local needs, particularly affordable housing and opportunities for community owned housing
- Support proposals for small-scale business development
- Support proposals for safe active travel around the village and beyond to Grantown-on-Spey
- Maintain high quality community facilities

## Developer obligations

### Affordable housing

All housing developments should include 25% affordable housing

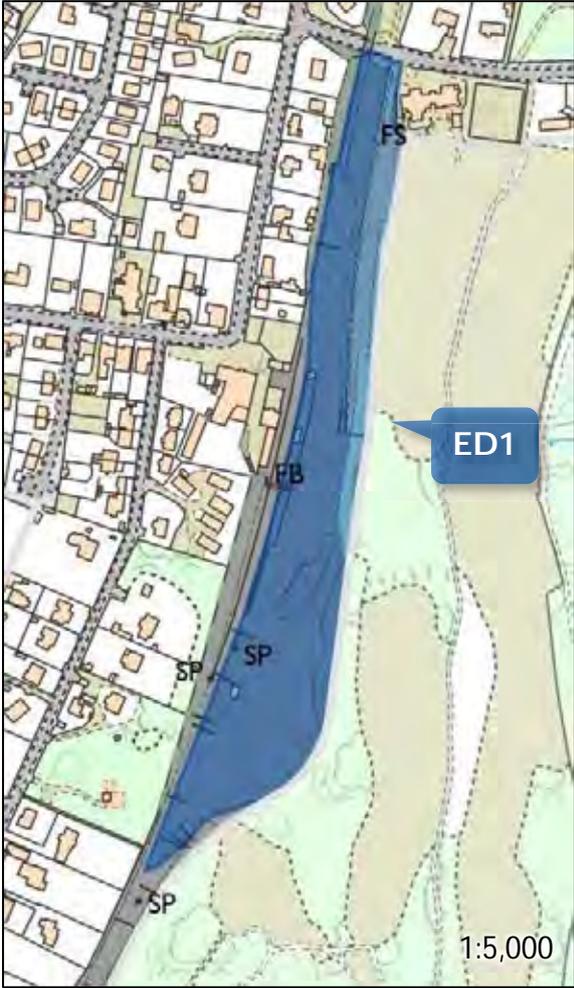
### Planning obligations

Contributions will be sought from any housing developments towards:

- Increasing capacity at strategic community leisure facilities serving Boat of Garten



# PROPOSALS

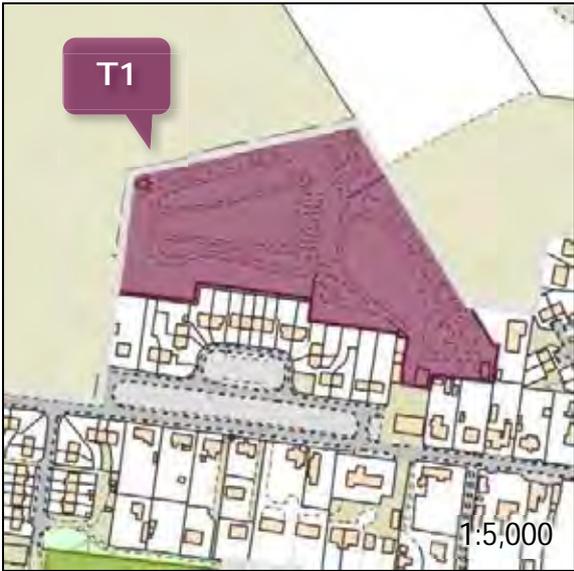


**ED1: The Steam Railway Station** 2.7 ha  
**Allocated for Economic Development**

Land at the station provides an opportunity for further economic development in support of the village. Any new development should ensure the enhancement of this important tourism facility.



A Drainage Impact Assessment will be required for this site.



**T1: Boat Of Garten Caravan & Camping Park** 2.2 ha  
**Allocated for Tourism**

The existing caravan and camping site supports the provision of tourism accommodation within Boat of Garten and will be protected from adverse development. Where appropriate, enhancement opportunities which are compatible with the existing use will be supported.



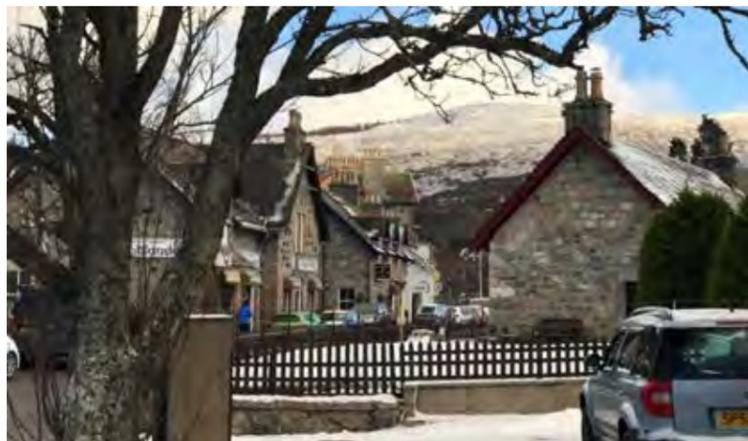
A water main runs along the boundary of this site.

# BRAEMAR

BRAEMAR is a small village located at the western end of Upper Deeside. The village itself is characterised by its historic architecture and strong royal connections, making it an attractive destination for visitors. The village is also benefiting from significant investment as a result of the new Heritage Centre and the extensive re-development of the Fife Arms Hotel.

## Settlement objectives

- Enhance the role of Braemar as a local service centre
- Support opportunities to enhance and diversify the local economy, enhance the role of tourism and improve car parking provision
- Conserve and enhance Braemar's distinctive built heritage and the integrity of its Conservation Area
- Deliver housing to meet local needs particularly affordable housing
- Support proposals for small-scale business development



## Developer obligations

### Affordable housing

All housing developments should include 45% affordable housing

### Planning obligations

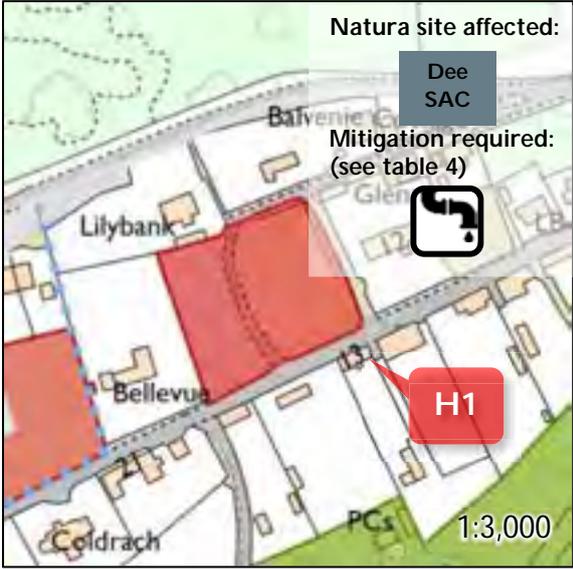
Contributions will be sought from any housing developments towards:

- Aboyne Academy

### Other infrastructure considerations

- Waste Water Treatment Works

# PROPOSALS

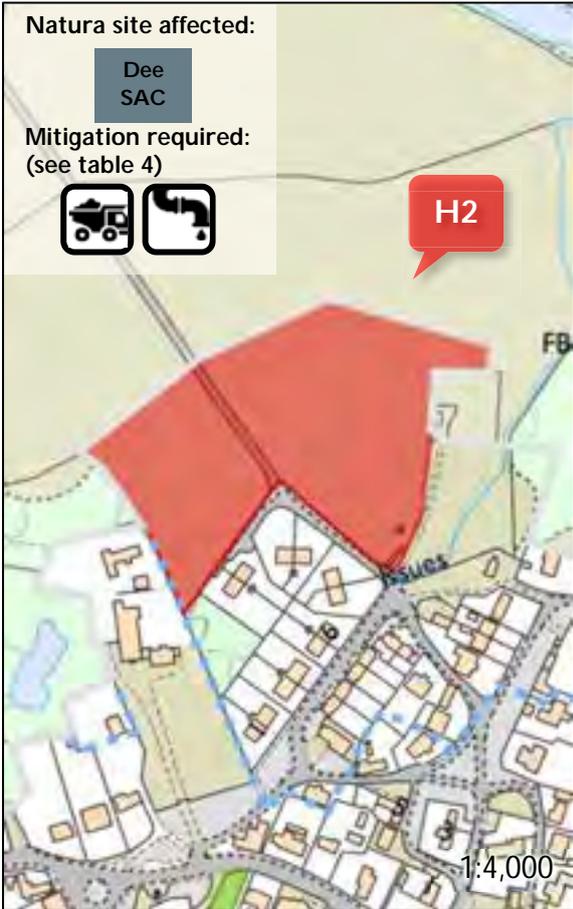


<b>H1: Chapel Brae</b>	<b>Indicative Capacity:</b>	<b>0.4 ha</b>
<b>Allocated for Housing</b>	<b>6 units</b>	

The site is allocated for up to 6 dwellings to contribute to meeting Braemar’s housing needs. Development of the site must be of a high quality which is sympathetic to the character of the village and conservation area.



The site is located within the Braemar Conservation Area.



<b>H2: St Andrews Terrace</b>	<b>Indicative Capacity:</b>	<b>1.8 ha</b>
<b>Allocated for Housing</b>	<b>30 units</b>	

The site has existing planning permission for 30 dwellings. The site will contribute to meeting Braemar’s housing needs.

Should the existing permission be amended the following will be required:



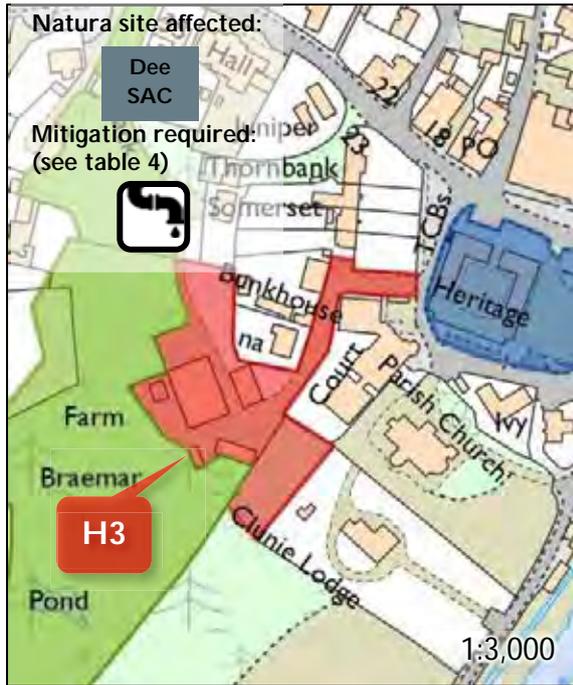
Medium to high probability flood risk exists adjacent to the site. A Flood Risk Assessment will therefore be required to identify the developable area.



Landscaping and structure planting will be necessary to ensure integration of the development with the surrounding landscape.



A Drainage Impact Assessment will be required and should assess existing surface water flooding issues.



**H3: Kindrochit Court**  
Allocated for Housing

Indicative Capacity:  
11 units  
0.4 ha

The site has existing planning permission for 11 dwellings. The site is previously developed and provides an important opportunity to contribute to meeting Braemar's affordable housing needs.

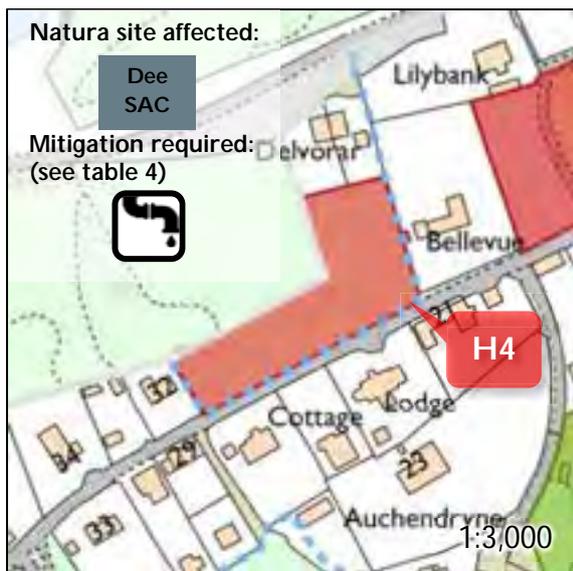
Should the existing permission be amended the following must be considered:



The site is located within the Braemar Conservation Area.



A Drainage Impact Assessment will be required to address surface water issues. A sewer mains runs through the site.



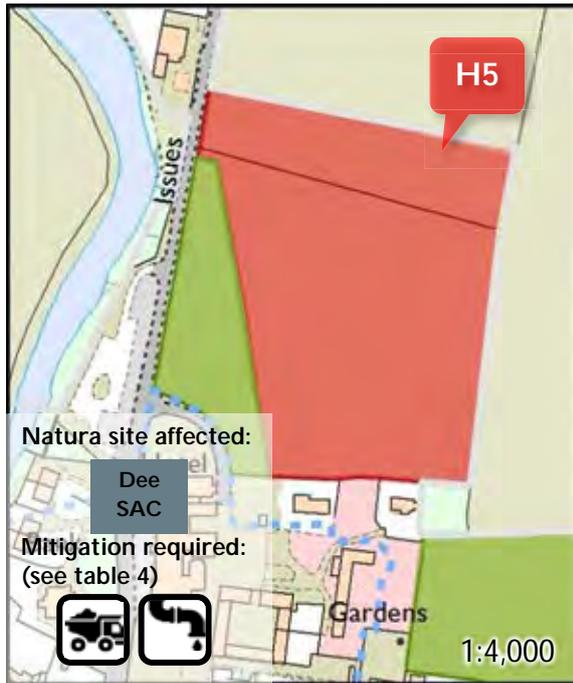
**H4: Chapel Brae**  
Allocated for Housing

Indicative Capacity:  
6 units  
0.4 ha

The site is allocated for up to 6 dwellings that will contribute to meeting Braemar's housing needs. Development of the site must be of a high quality which is sympathetic to the character of the village and adjoining conservation area and takes account of the site's sensitive location on the edge of the settlement.



A Drainage Impact Assessment will be required.



<b>H5: North Braemar Allocated for Housing</b>	<b>Indicative Capacity: 30 units</b>	<b>2.6 ha</b>
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The site forms the first phase of a wider area which has future development capacity. It is primarily expected to deliver housing but may provide some scope for complementary uses. A masterplan showing how the first phase of development will integrate with potential future phases will be required. The masterplan should also show how the development will integrate appropriately and sensitively with the wider landscape at the entrance to the village. The masterplan should be developed in consultation with the community.



Landscaping and structure planting will be necessary to ensure integration of the development with the surrounding landscape. A significant area of greenspace will be needed to preserve the setting of the adjoining hotel. A Phase 1 Habitat Survey will be required due to the possible presence of acidic grassland.



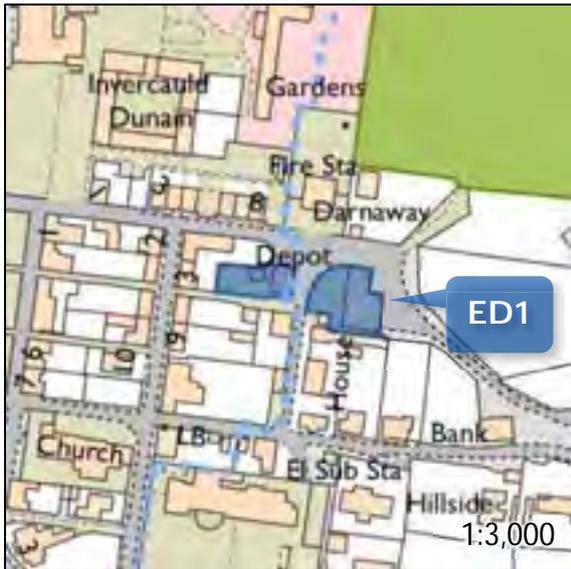
Medium to high probability flood risk exists adjacent to the site. A Flood Risk Assessment will therefore be required to identify the developable area.



A Drainage Impact Assessment will be required and should assess potential surface water flooding issues.



Development must achieve a high standard of design in terms of layout and architecture. Streetscapes and individual buildings must integrate with the vernacular architecture and layout of Braemar and be sympathetic to the adjoining Conservation Area.

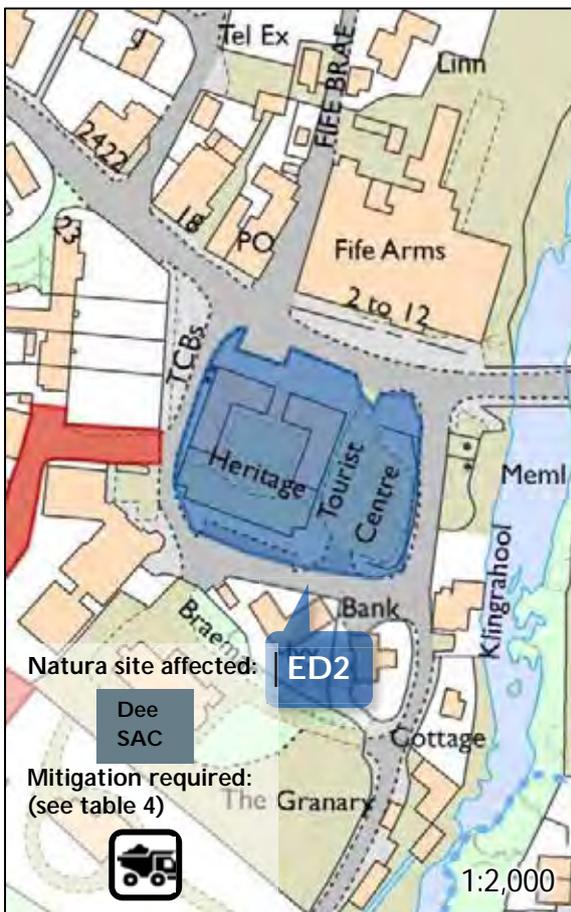


**ED1: Ambulance Station  
Allocated for Economic  
Development** 0.1  
ha

The site is allocated for economic development uses. It is a former Ambulance Station / depot and is now redundant. The site is divided into two by an existing access road running through the site.



Part of the site is located within the Braemar Conservation Area.



**ED2: The Mews  
Allocated for Economic  
Development** 0.3  
ha

The site is an existing retail complex comprising 4 retail units. It should be protected for this use or other economic development uses compatible with retail.

For any proposed changes to site, the following must be considered:



A Flood Risk Assessment will be required and used to inform the site layout.



The site is located within the Braemar Conservation Area.



A Drainage Impact Assessment will be required to address surface water issues.



### T1: Caravan Park Allocated for Tourism

5.4  
ha

The site comprises an existing caravan and camping park which continues to support the provision of tourism accommodation in Braemar and should be protected from adverse development. There may be capacity for further development in the southern part of the site, although future development is likely to be constrained by flood risk. Any future development proposals on the site must be for tourism uses and compatible with the existing operational business.



Medium to high probability flood risk exists adjacent to the site. There is also a small watercourse that flows through the site. A Flood Risk Assessment will be required for any increase in accommodation or change in site layout.



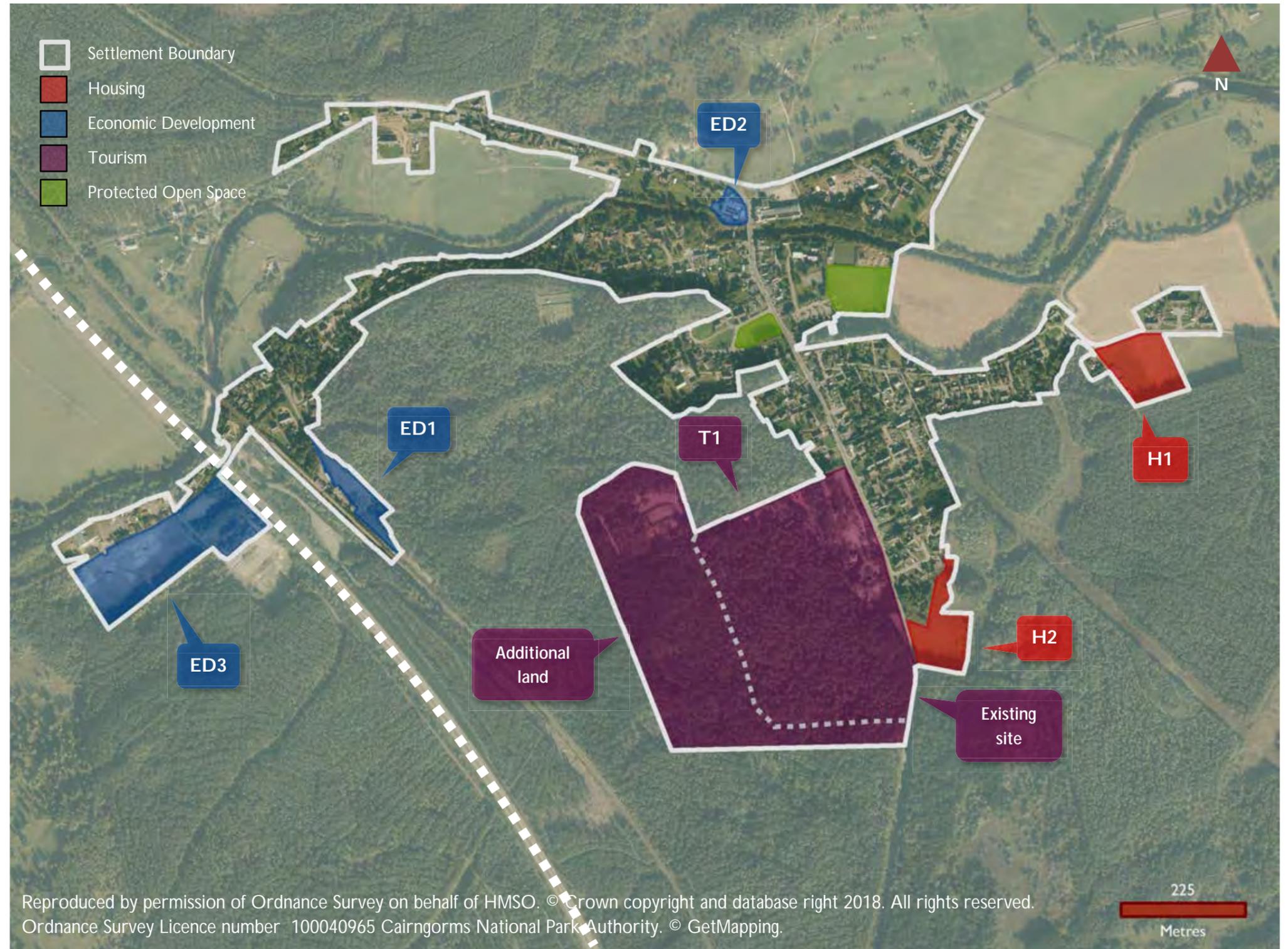
A water mains runs along the boundary of this site. Enhancement of the small watercourse running through the site is encouraged.

# CARR-BRIDGE

CARR-BRIDGE is a village in the north of the National Park located close to the A9 with good rail links. The village is home to one of the National Park's biggest attractions – Landmark adventure centre – which attracts many visitors to the area. The village also contains a range of other facilities including hotels, shops and a garage.

## Settlement objectives

- Support and maintain local services in Carr-Bridge
- Support the delivery of housing that meets local needs, particularly affordable and mid-market housing
- Support proposals for business, tourism and recreation in the village
- Support proposals for the redevelopment of the Struan House Hotel for uses that benefit the community
- Support proposals for small business units
- Support proposals for safe active travel around the village and beyond to Aviemore
- Support opportunities that utilise the benefits of the A9 dualling for Carr-Bridge



## Developer obligations

### Affordable housing

All housing developments should include 25% affordable housing

### Planning obligations

Contributions will be sought from any housing developments towards:

- Increasing capacity at Carr-Bridge Primary School
- Increasing capacity at strategic community leisure facilities serving Carr-Bridge

### Other infrastructure considerations

- Waste Water Treatment Works capacity

# PROPOSALS

H1: Carr Road  
Allocated for Housing

Indicative Residential  
Capacity:  
36 units

1.3  
ha



This site has capacity for 36 dwellings during the Plan period. The detail of any development proposals must take account of the woodland setting and should be designed in a way which promotes the highest standards of access, layout, building design and public realm.



A SuDS scheme must be provided for the site and should be integrated as part of the structural landscape framework for the development, designed to promote habitat enhancement. A Drainage Impact Assessment may be required to address surface water issues.



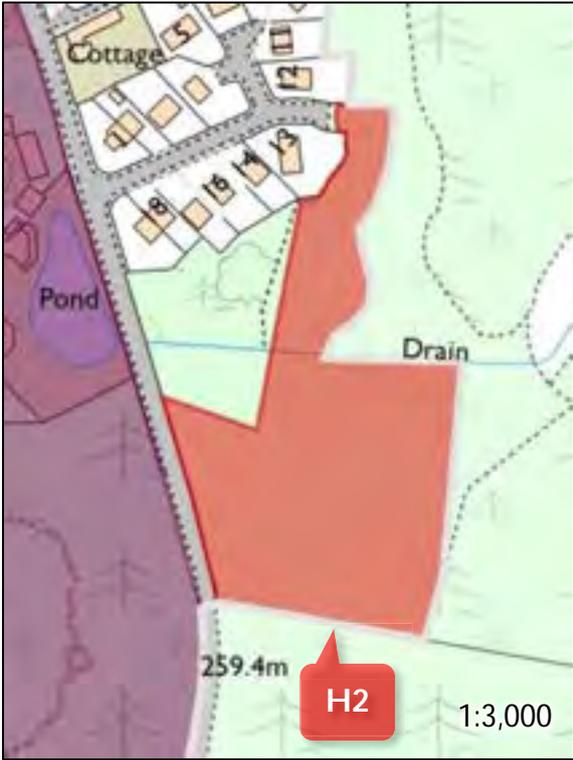
Carr Road is narrow and lacks space for a pedestrian sidewalk. Ensuring the inclusion of appropriate mitigation measures to address the increased level of traffic will be a key requirement of any proposed development.



Development proposals should seek to protect and integrate with existing path networks. The development must include a comprehensive series of open spaces, all linked by the footpath and cycle network particularly to the woodland outwith its boundary.



Open space should be provided to allow for peripheral planting to screen and frame views into and out of the site as well as a comprehensive tree structure across the whole area, including street and garden trees.



<b>H2: Crannich Park</b>	<b>Indicative Residential Capacity:</b>	<b>1.2 ha</b>
<b>Allocated for Housing</b>	<b>23 units</b>	

This site has existing planning permission for 23 dwellings and will contribute towards meeting Carr-Bridge’s housing needs.

Should the existing permission be amended the following will be required:



A revised Flood Risk Assessment may be required. No development should take place below 256.5m AOD.



A National Vegetation Classification survey may be required to accompany any alternative development proposals.



<b>ED1: Land at Railway Station</b>	<b>0.8 ha</b>
<b>Allocated for Economic Development</b>	

Land associated with the Railway station and siding presents an opportunity for investment. Development should help promote Carr-Bridge as a tourist destination and help link the railway with the rest of the village.



A Drainage Impact Assessment will be required and should address surface water flooding issues.



**ED2: Carr-Bridge Garage  
Allocated for Economic  
Development** **0.3  
ha**

This site makes an important contribution to the local economy, and should be retained for economic development purposes.



Medium to high probability flood risk exists on part of the site. A Flood Risk Assessment will be required to identify the developable area for any alternative development proposals.



A sewer mains runs through this site.



**ED3: Former Saw Mill  
Allocated for Economic  
Development** **3.7  
ha**

Land that was formally occupied by a saw mill presents an opportunity for economic development in association with the upgrade of the A9. Given the site's historical use, there are potential contaminated land issues that will need to be addressed.



A small watercourse runs through the site. A Flood Risk Assessment will be required to identify the developable area.



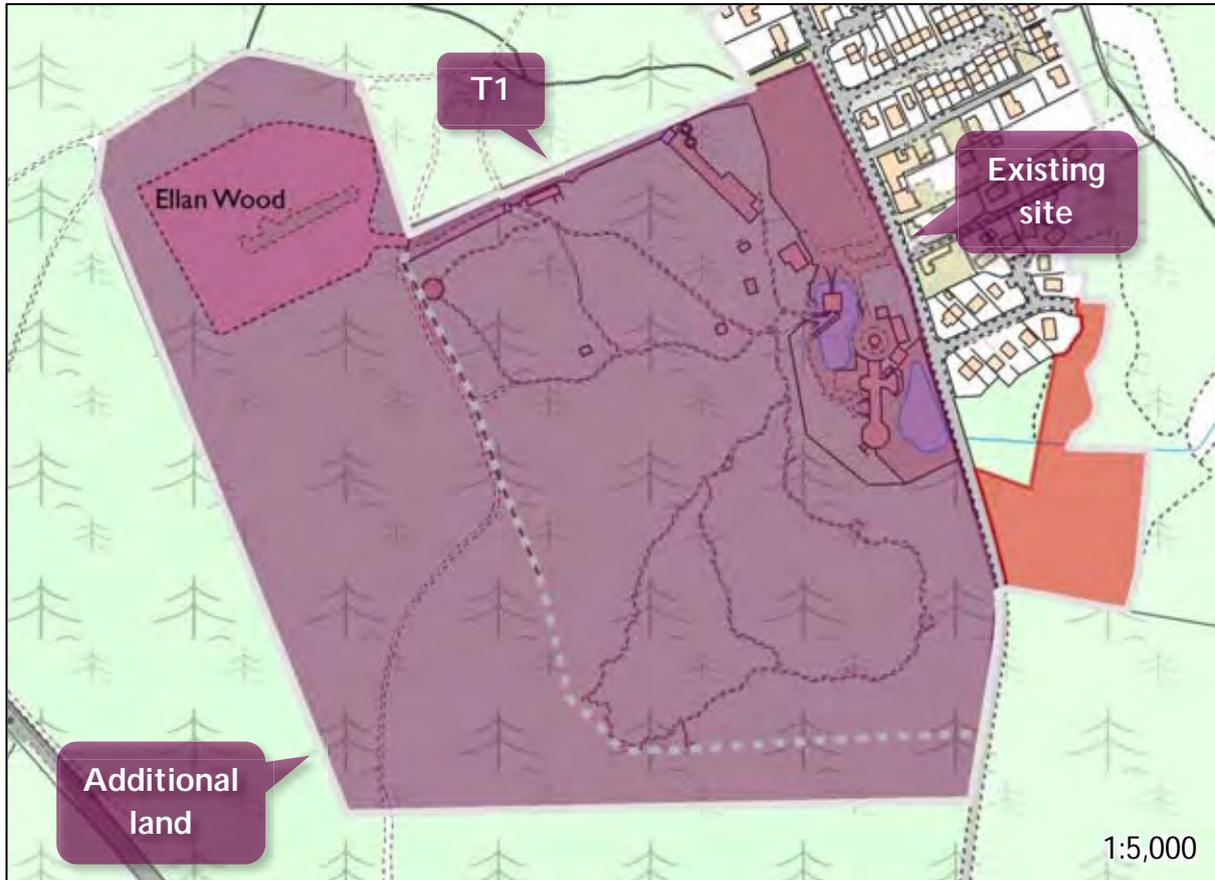
A Phase 1 Habitat Survey will be required due to the possible presence of acid grassland and other significant species.



Enhancement of the small watercourse running through the site is encouraged.

T1: Landmark Forest Adventure Park  
Allocated for Tourism

45.2  
ha



The Landmark Forest Adventure Park plays an extremely important role in supporting the economy of both the settlement and the wider area, and appropriate proposals to enhance and expand this facility will be supported.



A small watercourse runs through the site. A Flood Risk Assessment will be required to identify the developable area.



A Drainage Impact Assessment may be required to address surface water issues.



Landscaping and structure planting will be required to ensure integration of the development with the surrounding landscape. Development proposals should be designed to minimise the loss of existing woodland.



A National Vegetation Classification survey will be required to accompany and inform the design and layout of any future development proposals, particularly as this site is included within the ancient woodland inventory.



An existing core path runs through the western part of the site. Any development proposals that would result in the closure of this path will need to provide new / alternative path provision of equal or greater quality and amenity value.

# CROMDALE

CROMDALE is a small village that sits in the north of the National Park on the A95. It has a dispersed nature and is a largely residential village.

## Settlement objectives

- Support the delivery of housing that meets local needs, particularly affordable housing
- Encourage the delivery of existing housing allocations
- Encourage appropriate economic growth that can support and improve the vitality of the village

## Developer obligations

### Affordable housing

All housing developments should include 25% affordable housing

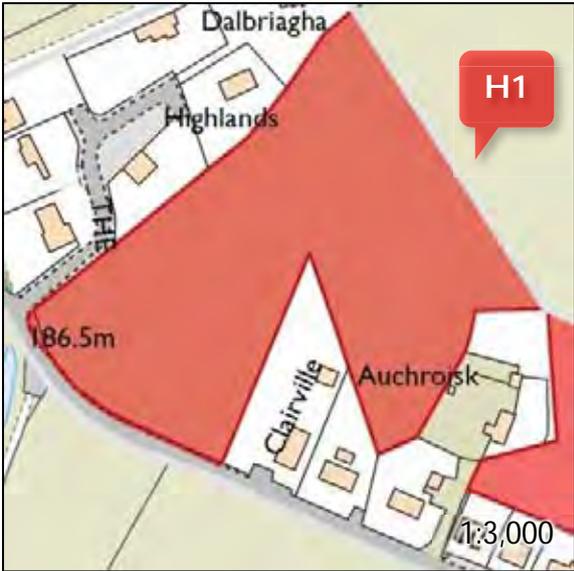
### Planning obligations

Contributions will be sought from any housing developments towards:

- Increasing capacity at strategic community leisure facilities serving Cromdale



# PROPOSALS



<b>H1: Kirk Road Allocated for Housing</b>	<b>Indicative Capacity: 20 units</b>	<b>1.7 ha</b>
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The site is allocated for 20 dwellings. Detailed proposals must take account of the setting of the village and should be designed in a way that promotes high standards of access, layout, building design and open space.



A Drainage Impact Assessment is required. A Water Impact Assessment or Flow and Pressure tests may be required. A water main runs through this site.

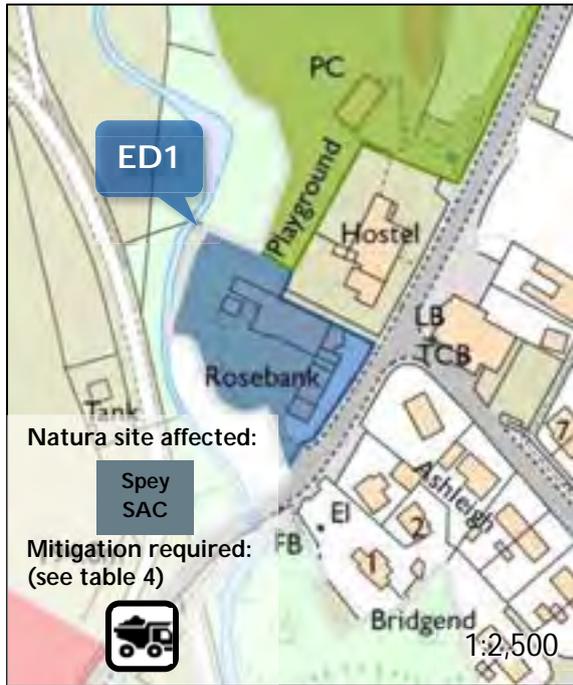


<b>H2: Auchroisk Park Allocated for Housing</b>	<b>Indicative Capacity: 22 units</b>	<b>1.2 ha</b>
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The site has planning permission in principle for 22 units, some of which have been completed. The remainder of the houses are being delivered on a plot-by-plot basis, with detailed planning permission required for each plot.



Depending on the size of proposed development, further investigations such as Drainage Impact Assessment, a Water Impact Assessment and Flow and Pressure tests may be required. Sewer and water mains run through this site.



**ED1: The Smoke House  
Allocated for Economic  
Development** **0.3  
ha**

A small site at the Smoke-House has some potential to provide for economic development in the village. Any proposals must ensure that issues regarding contamination and access are adequately addressed.



Medium to high probability flood risk exists adjacent to the site. A Flood Risk Assessment will be required to identify the developable area for any further development proposals.



A Drainage Impact Assessment is required. A Water Impact Assessment or Flow and Pressure tests may be required.

# DULNAIN BRIDGE

DULNAIN BRIDGE is a small village situated to the west of Granttown-on-Spey. The village has a garage, shop and community hall and is well served for its size. Some growth is necessary to sustain the village and future development should complement the sensitive woodland setting of the village, enhance its character and support tourism.

## Settlement objectives

- Support the delivery of housing that meets local needs, particularly affordable housing
- Support proposals to enhance and diversify the local economy and the role of tourism
- Support proposals for safe active travel around Dulnain Bridge and beyond, including to Granttown-on-Spey and Carr-Bridge



## Developer obligations

### Affordable housing

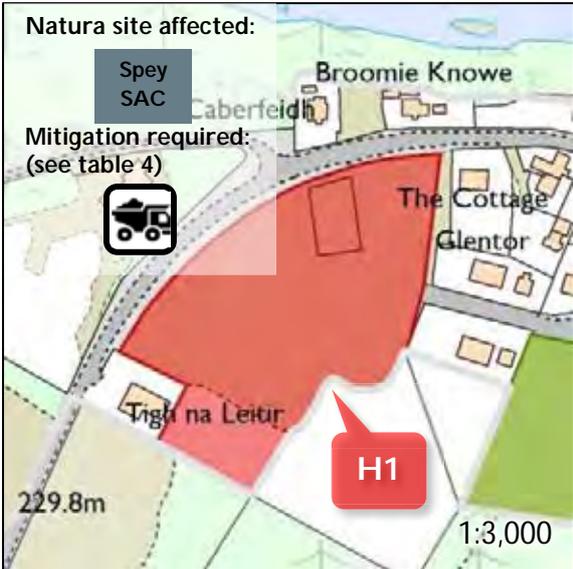
All housing developments should include 25% affordable housing

### Planning obligations

Contributions will be sought from any housing developments towards:

- Increasing capacity at strategic community leisure facilities serving Dulnain Bridge

# PROPOSALS



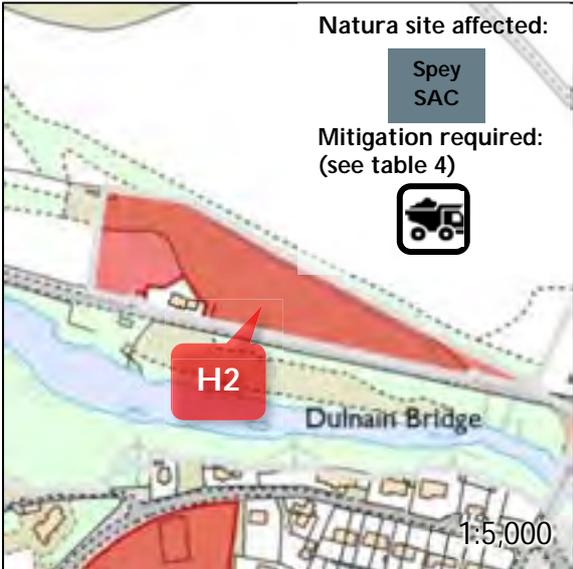
**H1: Land west of Play Area Allocated for Housing**

Indicative Capacity:	0.9 ha
	20 units

The land west of the playing area is suitable for approximately 20 units.



A Drainage Impact Assessment is required. A Water Impact Assessment or Flow and Pressure tests may be required. A sewer main runs through the site.



**H2: Land adjacent to A938 Allocated for Housing**

Indicative Capacity:	1.3 ha
	20 units

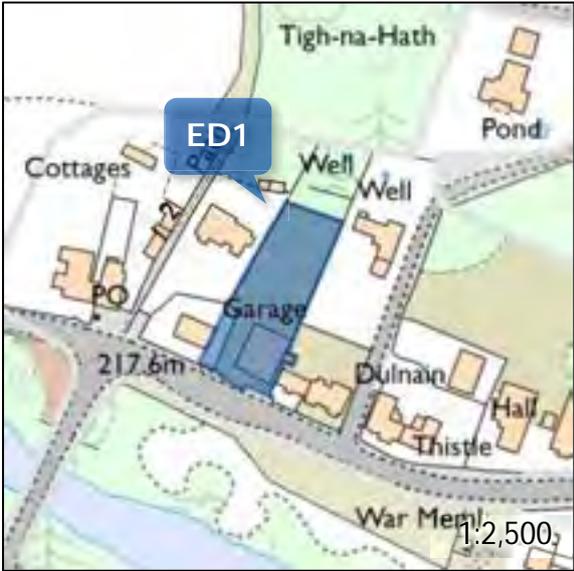
The site currently benefits from an existing permission for 10 dwellings, however there are opportunities to increase the number of units to 20.



Medium to high probability flood risk adjacent to the site. A Flood Risk Assessment will be required to identify the developable area.



A Water Impact Assessment or Flow and Pressure test may be required. A sewer main runs through the site.



**ED1: Dulnain Garage  
Allocated for Economic  
Development** 0.1  
ha

The existing commercial business operating on the site provides an important contribution to the local economy and should be supported and retained.



A Drainage Impact Assessment is required for any future development proposals and should address surface water flooding. A Water Impact Assessment or Flow and Pressure tests may be required.

# KINCRAIG

KINCRAIG is a small community located between Aviemore and Kingussie. There are a number of surrounding visitor attractions and employers which support the village.

## Settlement objectives

- Support proposals to increase the attraction of Kincaig for tourism and recreation
- Support proposals for small-scale business development
- Support the delivery of housing to meet local needs, particularly affordable housing



## Developer contributions

### Affordable housing

All housing developments should include 25% affordable housing

### Planning obligations

Contributions will be sought from any housing developments towards:

- An extension to Kingussie High School
- Increasing capacity at strategic community leisure facilities serving Kincaig



# PROPOSALS



**H1: Opposite School Allocated for Housing**

<b>Indicative Capacity:</b>	<b>5.1 ha</b>
<b>40 units</b>	

The site is allocated for up to 40 dwellings. Development of the site will need to incorporate the wetland area towards the south of the site into a SuDS feature.



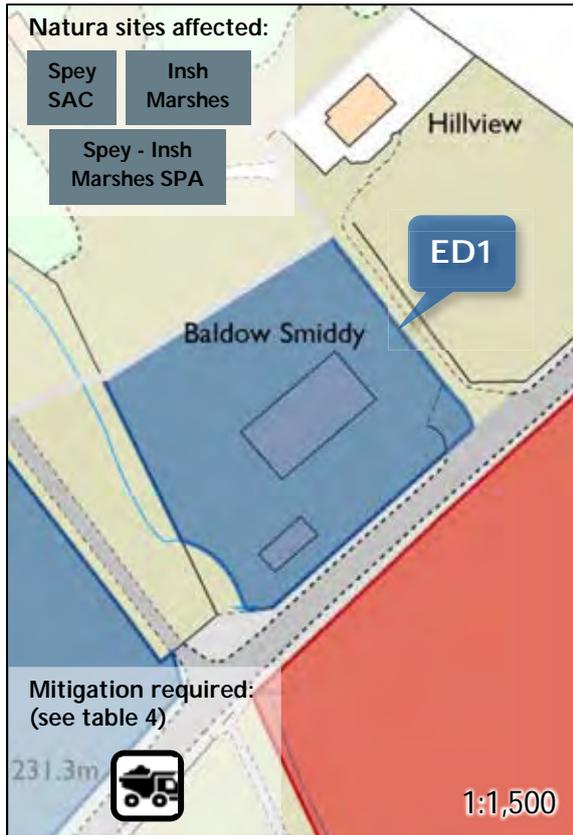
A small watercourse runs along the western boundary and this is culverted at the south of the site. A Flood Risk Assessment is required to establish the developable area.



Landscaping and structure planting will be required to ensure integration of the development with the surrounding landscape.



A Drainage Impact Assessment is required and will need to address existing surface water issues. Depending on the size of proposed development, further investigations such as Water Impact Assessment or Flow and Pressure tests will be required. Enhancement of the small watercourse running adjacent to the site, which has been historically straightened, is encouraged.



**ED1: Baldow Smiddy  
Allocated for Economic  
Development**

**0.3  
ha**

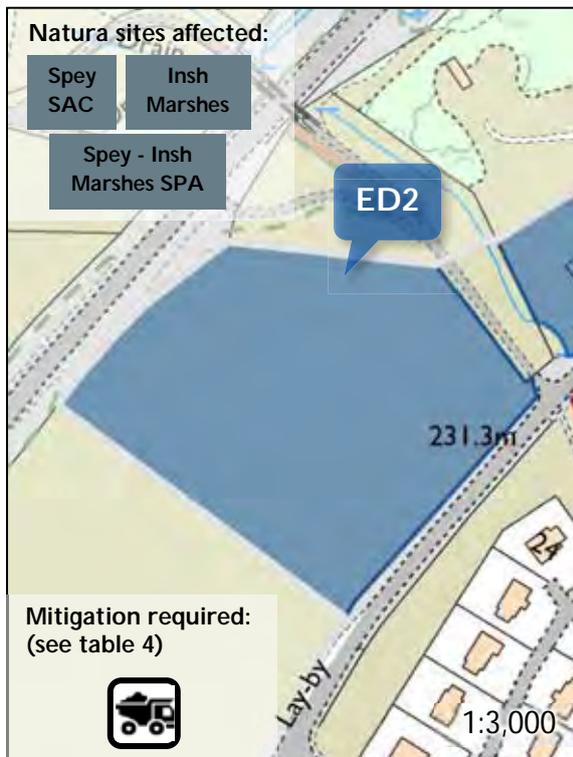
The site currently is used for the premises of an established garage business. The site should be protected for economic development uses. Any further development on the site would require:



A small culverted watercourse to the south of the site may increase flood risk. A Flood Risk Assessment may therefore be required depending on proposed use and site layout.



Further investigations such as a Drainage Impact Assessment, Water Impact Assessment or Flow and Pressure tests may be required. Enhancement of the small watercourse running adjacent to the site, which has been historically straightened, is encouraged.



**ED2: North of B9152  
Allocated for Economic  
Development**

**1.6  
ha**

The site is allocated for economic development uses. It provides opportunities for proposals to support the economy of Kincaig and the surrounding area.



A small culverted watercourse to the south of the site may increase flood risk. A Flood Risk Assessment may be required depending on proposed use and site layout.



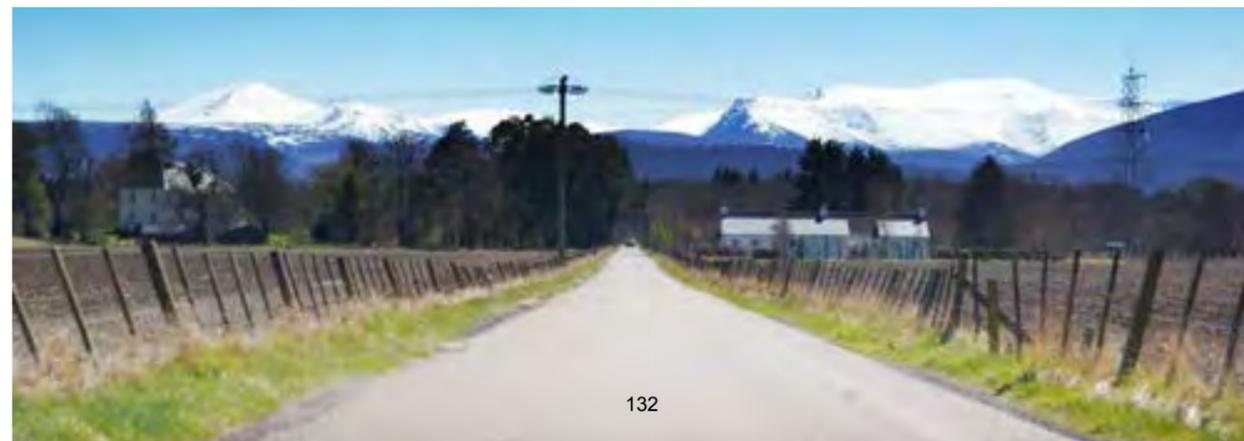
Further investigations such as a Drainage Impact Assessment, Water Impact Assessment or Flow and Pressure tests may be required. Enhancement of the small watercourse running adjacent to the site, which has been historically straightened, is encouraged.

# NETHY BRIDGE

NETHY BRIDGE is a small woodland village and is an attractive destination for visitors. The village has a good range of community facilities and an extensive local path network.

## Settlement objectives

- Support the delivery of housing that meets local needs, particularly affordable housing
- Support proposals for small-scale business development
- To increase and enhance flood management and resilience



## Developer obligations

### Affordable housing

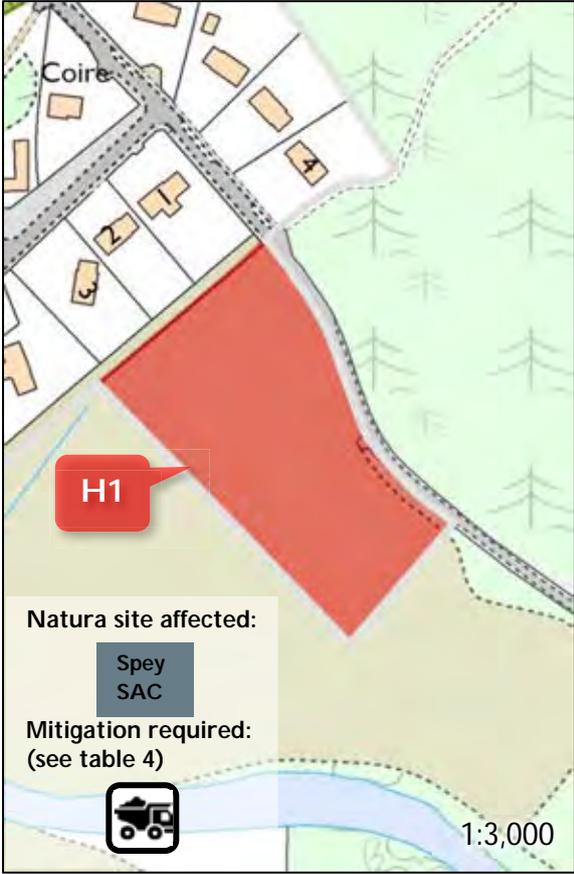
All housing developments should include 25% affordable housing

### Planning obligations

Contributions will be sought from any housing developments towards:

- Increasing capacity at strategic community leisure facilities serving Nethy Bridge

# PROPOSALS



<b>H1: Lettoch Road Allocated for Housing</b>	<b>Indicative Residential Capacity: 20 units</b>	<b>0.5 ha</b>
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The site has capacity for 20 dwellings. The detail of any development proposals must take account of and seek to complement the nature of the woodland opposite, views towards the Cairngorms, and the nature of nearby development. Semi-detached and terraced dwellings, in a similar pattern to Lynstock Crescent, are desirable.



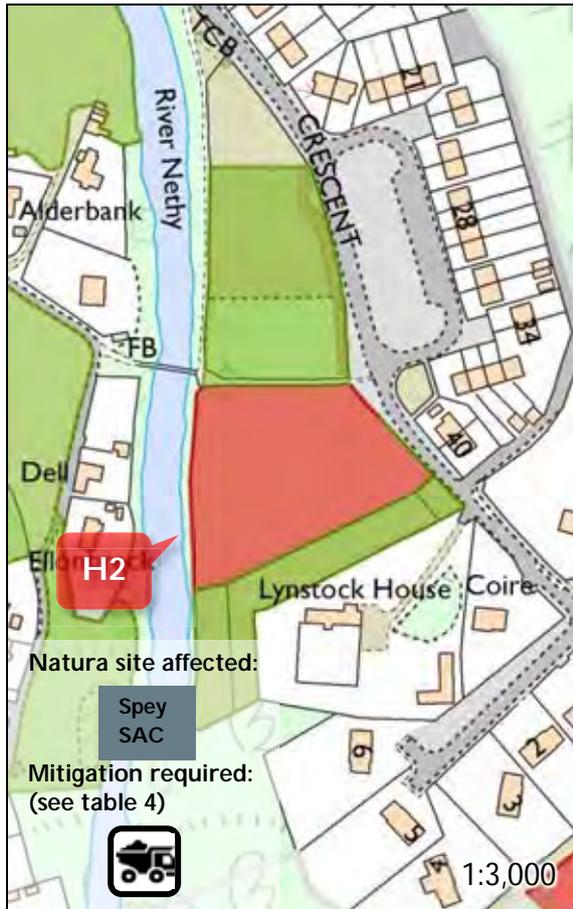
Medium to high probability flood risk exists in the lower half of the site. A Flood Risk Assessment or other supporting information will be required to determine the developable area.



The site will need to take account of and respond to the wider landscape context, particularly views towards the Cairngorm plateau.



Water infrastructure runs through this site.



**H2: Land at Lynstock Crescent Allocated for Housing**

**Indicative Residential Capacity: 4 units**

**1 ha**

The site has capacity for 4 dwellings which are to meet the definition of affordable housing. Part of the site is affected by the medium probability flood risk zone and therefore development will need to take account of this. The non-developable part of the site may accommodate landscaping.



Medium to high probability flood risk adjacent to the site. A Flood Risk Assessment or other supporting information will be required to determine the developable area.



Water infrastructure runs through this site.



A Construction Environmental Management Plan will be required.

# TOMINTOUL

TOMINTOUL is a planned village and is located in a remote part of Moray. It has a number of small businesses and is an important service centre for a number of outlying settlements. The community has an active Development Trust, and the Tomintoul and Glenlivet Landscape Partnership has also recently undertaken a number of projects to support and enhance aspects of the natural and cultural heritage of the area.

## Settlement objectives

- Maintain local services
- Support the provision of housing that meets the needs of the local community
- Deliver development to support the community and local economy
- Ensure Tomintoul's distinctive built heritage is preserved and enhanced
- Ensure new development preserves Tomintoul's International Dark Sky Park status



## Developer contributions

### Affordable housing

All housing developments should include 25% affordable housing

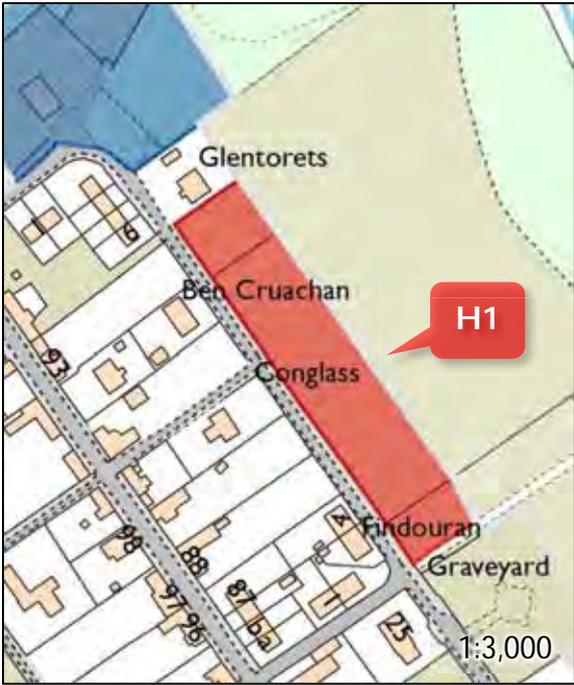
### Planning obligations

Contributions will be sought from any housing developments towards:

- Demand responsive transport services



# PROPOSALS



<b>H1: Conglass Lane</b>	<b>Indicative Capacity:</b>	<b>0.5 ha</b>
<b>Allocated for Housing</b>	<b>8 units</b>	

The site has capacity for around 8 units. These should be designed to reflect the built form of Tomintoul and must take account of the sensitive setting of the village.



A Drainage Impact Assessment is required. A Water Impact Assessment or Flow and Pressure tests may be required.



<b>H2: Lecht Drive</b>	<b>Indicative Capacity:</b>	<b>1.1 ha</b>
<b>Allocated for Housing</b>	<b>8 units</b>	

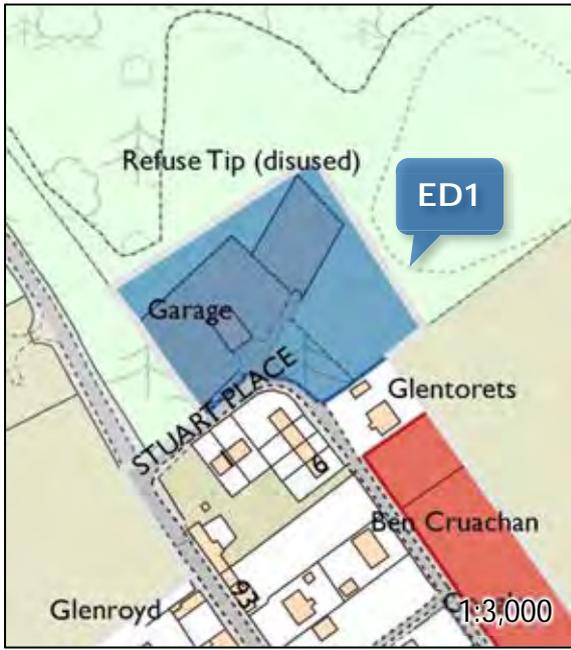
The site has capacity for around 8 units. These should be designed to reflect the built form of Tomintoul and must take account of the sensitive setting of the village.



A small watercourse runs adjacent to the site. A Flood Risk Assessment or other supporting information will be required to determine the developable area.



A Drainage Impact Assessment is required. A Water Impact Assessment or Flow and Pressure tests may be required.

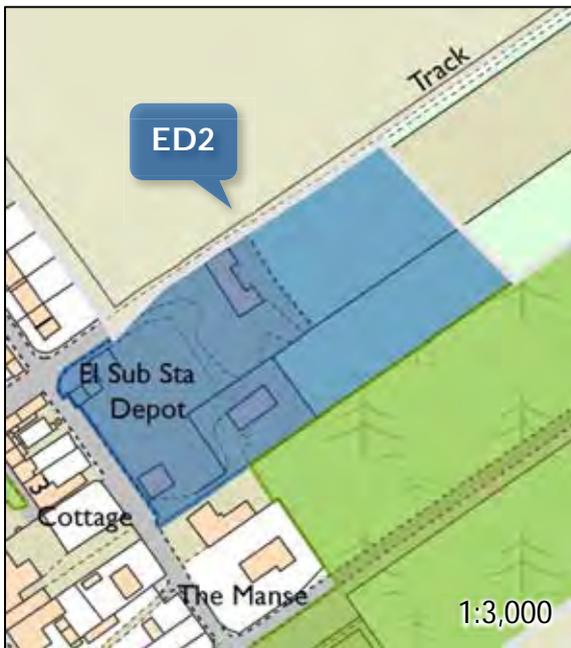


**ED1: Garage to North East  
Allocated for Economic  
Development** **0.7  
ha**

The site should be retained as an important contributor to the economy of the village. Proposals for appropriate expansion of business and enhancement of the site will be supported.



Depending on the size of proposed development, further investigations such as Drainage Impact Assessment will be required. A Water Impact Assessment or Flow and Pressure tests may be required. There is an existing combined sewer running through the site.

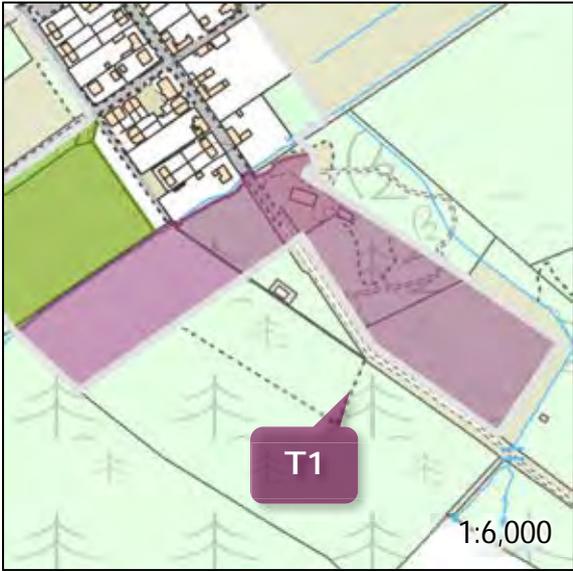


**ED2: Land by A939  
Allocated for Economic  
Development** **1.2  
ha**

The site should be retained as an important contributor to the village. Proposals for appropriate expansion of business and enhancement of the site will be supported.



Depending on the size of proposed development, further investigations such as Drainage Impact Assessment will be required. A Drainage Impact Assessment is required. A Water Impact Assessment or Flow and Pressure tests may be required. Water infrastructure runs through this site.



**T1: Land to the South West  
Allocated for Tourism**      **2.3  
ha**

The site incorporates an established pod camping site and adventure playground. Any future development on the site must be for tourism uses and compatible with the existing operational business.

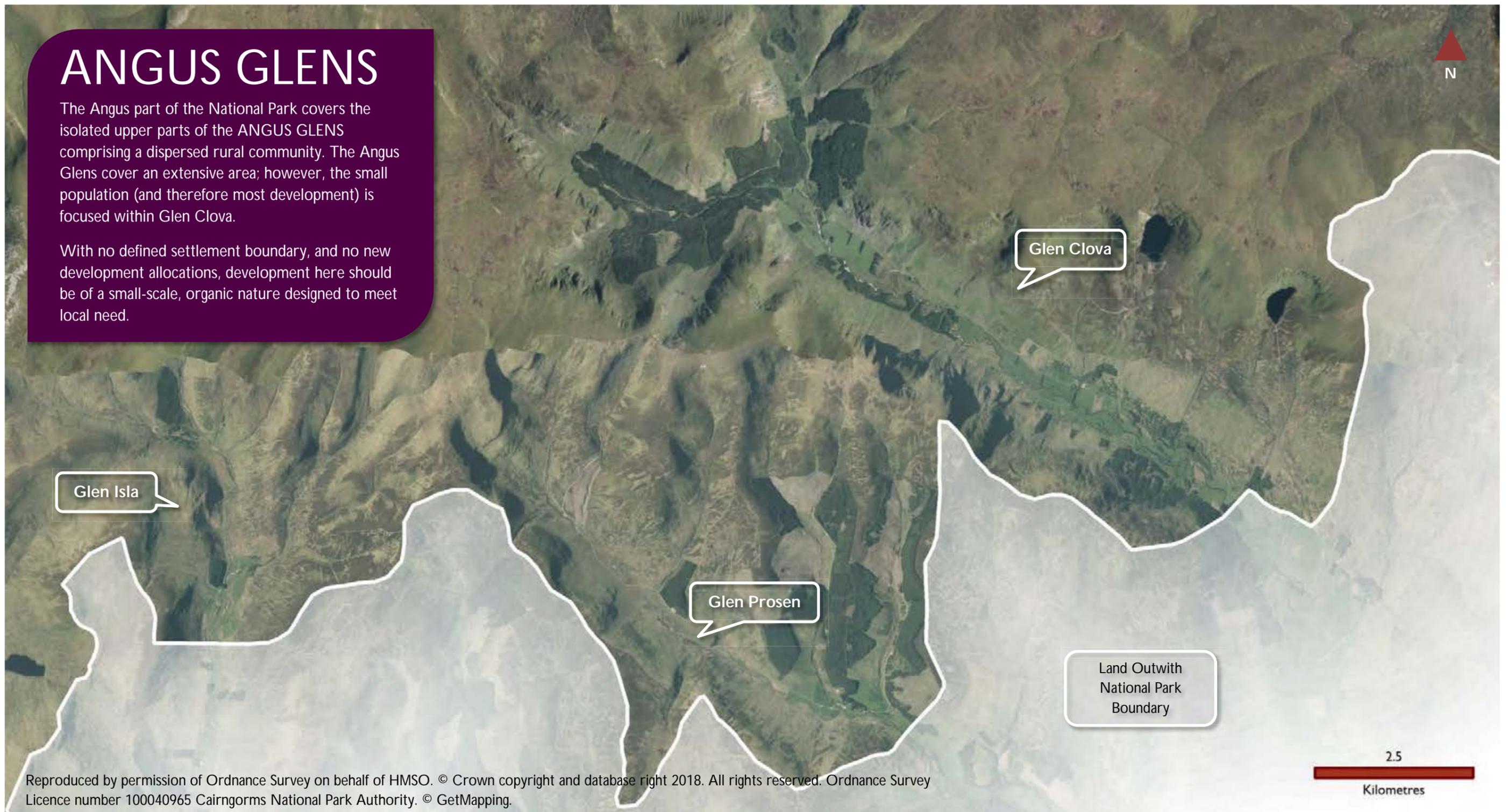


Owing to the presence of a small watercourse adjacent to the site, a Flood Risk Assessment will be required to support proposals for any further development.

# ANGUS GLENS

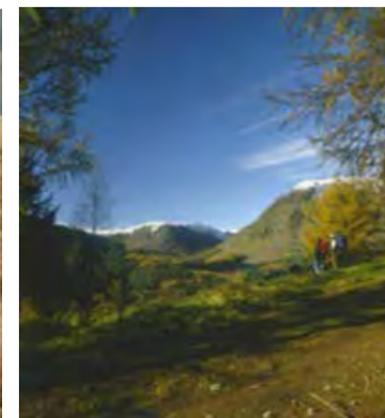
The Angus part of the National Park covers the isolated upper parts of the ANGUS GLENS comprising a dispersed rural community. The Angus Glens cover an extensive area; however, the small population (and therefore most development) is focused within Glen Clova.

With no defined settlement boundary, and no new development allocations, development here should be of a small-scale, organic nature designed to meet local need.



## Objectives

- Support development that reflects and respects the dispersed nature of the Angus Glens
- Support appropriate economic growth which supports a thriving community
- Support small-scale organic growth through the Local Development Plan's housing policy



## Planning obligations

### Affordable housing

All housing developments should include 25% affordable housing

# BRUAR & PITAGOWAN

BRUAR and PITAGOWAN are small communities which lie four miles to the north of Blair Atholl. They rely on tourism and the House of Bruar to support their economy. With no defined settlement boundary, and no new development allocations, development here should be of a small-scale, organic nature designed to meet local need.

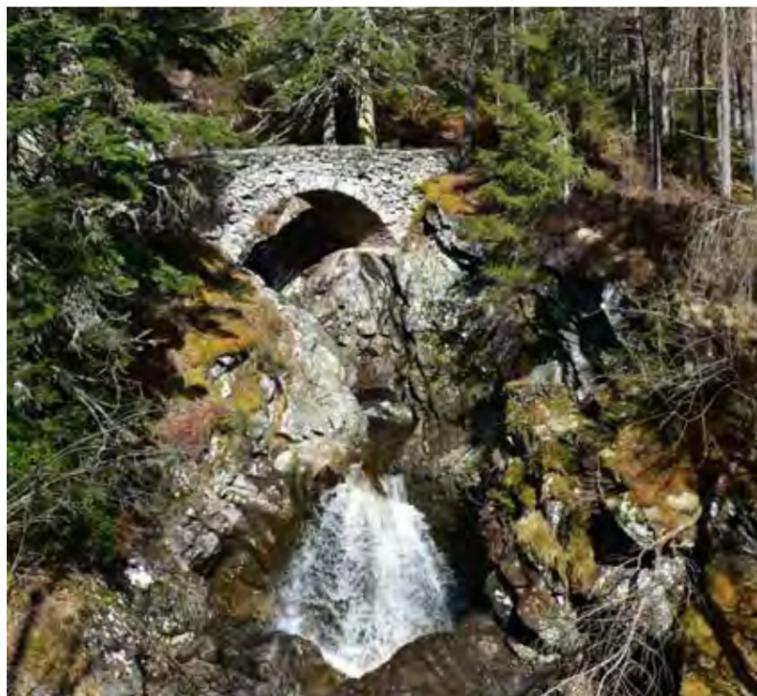
## Settlement objectives

- Support the strategically important development at the House of Bruar and ensure it benefits the local community
- Support small-scale organic growth through the Local Development Plan's housing policy
- Support proposals for safe active travel around the village and to surrounding settlements

## Developer obligations

### Affordable housing

All housing developments should include 25% affordable housing



# CALVINE

CALVINE lies to the north of Blair Atholl and is bound by the A9 to the north and railway to the south. It is a small community focused on tourism. With no defined settlement boundary, development here should be of a small-scale, organic nature designed to meet local need.

## Settlement objectives

- Support small-scale organic growth through the Local Development Plan's housing policy
- Support small-scale economic growth that supports the local community
- Support proposals for safe active travel around the village and to surrounding settlements

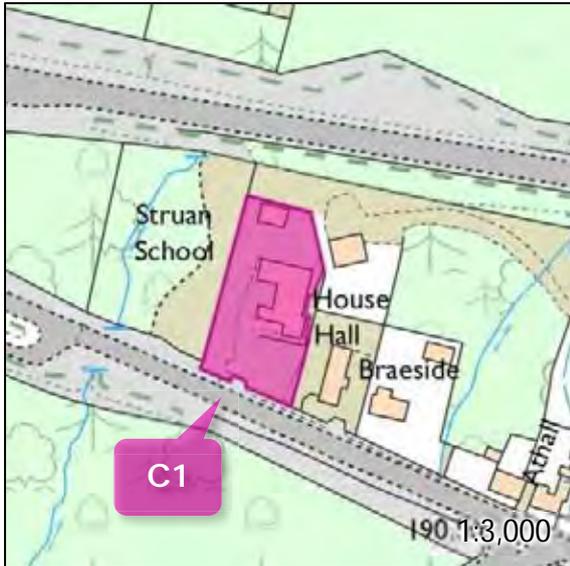
## Developer obligations

### Affordable housing

All housing developments should include 25% affordable housing



# PROPOSALS



**C1: Old School  
Allocated for Community  
Uses**

**0.2  
ha**

The site of the former school provides an opportunity for development within Calvine that can benefit the community. Possible uses may include affordable and open market housing, employment, recreation and tourism.

# DALWHINNIE

DALWHINNIE is a small settlement at the southern end of Badenoch. The village has a well-known distillery which is an important tourist attraction and local employer. The local economy is land based and opportunities for new tourism and economic development should be encouraged. Dalwhinnie has fragile facilities and future housing is needed to support these and to sustain a stable population.

## Settlement objectives

- Diversify the local economy
- Support proposals to improve tourism
- Support the delivery of housing
- Increase and enhance flood management and resilience
- Support proposals for business development, growth and diversification
- Support opportunities that utilise the benefits of the A9 dualling for Dalwhinnie



## Developer obligations

### Affordable housing

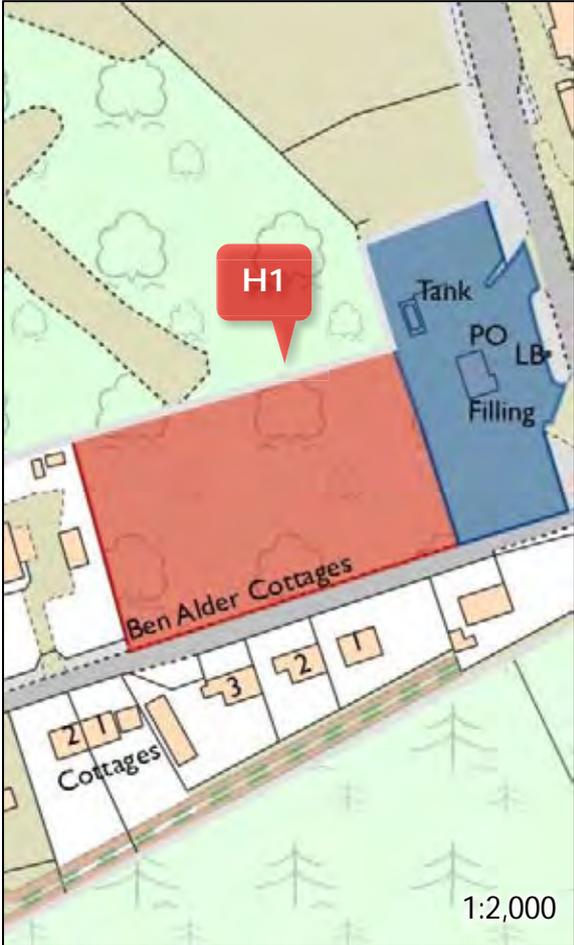
All housing developments should include 25% affordable housing

### Planning obligations

Contributions will be sought from any housing developments towards:

- An extension to Kingussie High School
- Increasing capacity at strategic community leisure facilities serving Dalwhinnie

# PROPOSALS



**H1: Land by Garage Allocated for Housing**      **Indicative Capacity: 6 units**      **0.5 ha**

The site is allocated for up to 6 dwellings.



Medium to high probability flood risk area adjacent to the site. A Flood Risk Assessment will be required to determine the developable area.



Landscaping and structure planting will be needed to ensure integration of the development with the surrounding landscape.



Further investigations such as Water Impact Assessment or Flow and Pressure tests may be required. No Waste Water network within vicinity of site. Any installation of a connection from the site to the public sewers is the responsibility of the developer.



**ED1: Garage Site Allocated for Economic Development**      **0.3 ha**

The site is an existing petrol filling station with some capacity for further development. Any future development on the site must be for economic development.

For any further development on the site:



Medium to high probability flood risk area adjacent to the site. A Flood Risk Assessment will be required to determine the developable area.



Site is in close proximity to Waste Water Treatment Works and appropriate stand-off distances will be required to mitigate any noise impacts. This may impact on developable area.

# DINNET

DINNET is a small historic settlement in Deeside which forms an eastern gateway to the National Park. The village has a hotel and garage.

## Settlement objectives

- Support the role of Dinnet as a key gateway into the National Park
- Support the delivery of housing that meets local needs, particularly affordable housing
- Support proposals for small-scale business development



## Developer obligations

### Affordable housing

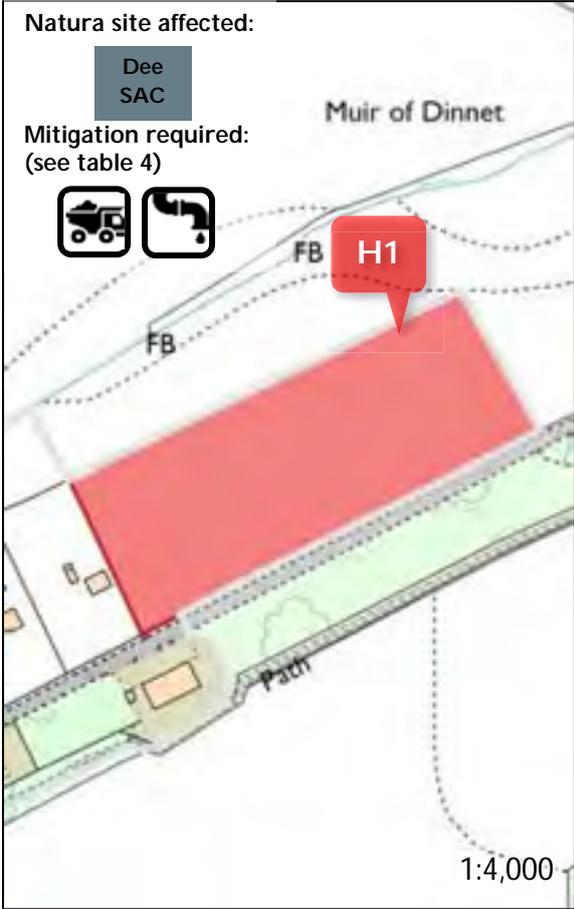
All housing developments should include 25% affordable housing

### Planning obligations

Contributions will be sought from any housing developments towards:

- Aboyne Primary School
- Aboyne Medical practice

# PROPOSALS



**H1: Land to East**     **Indicative**  
**Allocated for**     **Capacity: 2 ha**  
**Housing**             **15 units**

The site is allocated for 15 dwellings. The site lies to the east of the village on the A93 and provides an opportunity for housing to meet local needs.



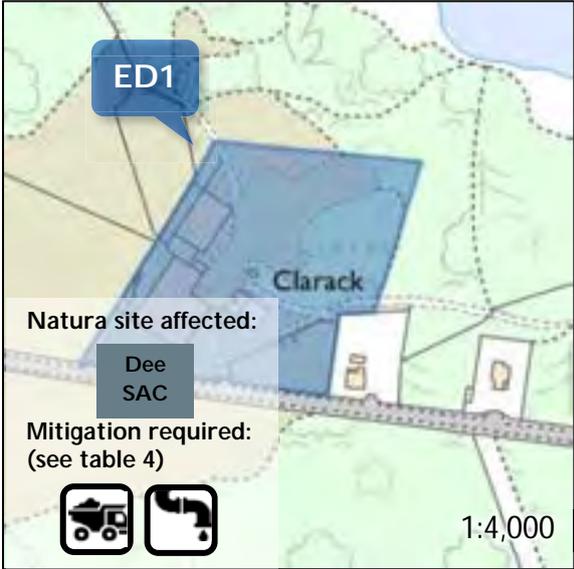
Medium to high probability flood risk to the north of the site. A Flood Risk Assessment will be required to determine the developable area.



Landscaping and structure planting will be required to ensure integration of the development with the surrounding landscape.



A Drainage Impact Assessment will be required. A Water Impact Assessment and Flow and Pressure tests may also be required.



**ED1: Former Steading**     **1.5**  
**Allocated for Economic**     **ha**  
**Development**

The site is a former farm which is now redundant. The site provides an opportunity for economic development uses.



Medium to high probability flood risk adjacent to the site. A Flood Risk Assessment will be required to determine the developable area.



This site is located a considerable distance from the public waste water network. The installation of network from the site to the public sewers must be funded and carried out by the developer.

# GLENLIVET

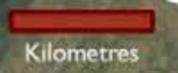
GLENLIVET is a small dispersed community located within the north of the National Park. It has an economy based on tourism and the whisky industry. With no defined settlement boundary, and no new development allocations, development here should be of a small-scale, organic nature designed to meet local need.



Glenlivet Distillery

1:10,000

Land Outwith National Park Boundary



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## Objectives

- Facilitate appropriate economic growth that supports the local community
- Support small-scale organic growth through the Local Development Plan's housing policy
- Ensure new development preserves Glenlivet's International Dark Sky Park status



## Developer obligations

### Affordable housing

All housing developments should include 25% affordable housing

### Planning obligations

Contributions will be sought from any housing developments towards:

- Demand responsive transport services

# GLENMORE

GLENMORE is a popular tourist destination within the National Park, on the edge of Loch Morlich. It is a focus for outdoor activities in the surrounding woodlands and mountains.

## Settlement objectives

- Enhance the visitor experience in Glenmore and its surroundings, supporting the strategic role Glenmore plays in the tourism economy
- Facilitate appropriate economic growth that supports a thriving community including a year round economy



## Developer obligations

### Affordable housing

All housing developments should include 25% affordable housing

### Planning obligations

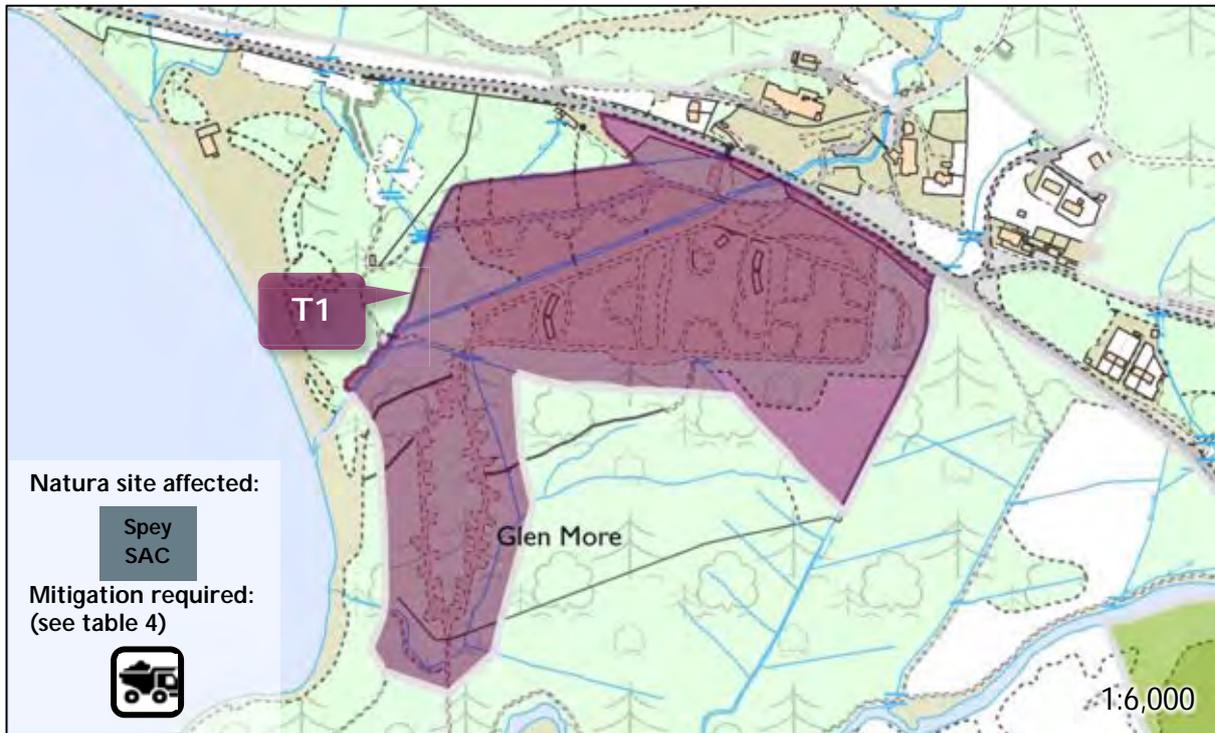
Contributions will be sought from any housing developments towards:

- Increasing Primary School capacity in Aviemore
- An extension to Kingussie High School
- Increasing capacity at strategic community leisure facilities serving Glenmore

# PROPOSALS

T1: Camping site Allocated for Tourism

Size:  
10.4  
ha



The site is currently in operation as a popular Camping site near Loch Morlich. The site is an established business continuing to support the provision of tourism accommodation and should be protected from adverse development. Any future development on the site must be for tourism uses and compatible with the existing operational business.

Any further development on the site will require:



Medium to high probability flood risk in part of the site. A Flood Risk Assessment will be required to inform the developable area.



Landscaping and structure planting will be required to ensure integration of the development with the surrounding landscape.



Where appropriate, enhancement opportunities will be supported, subject to a satisfactory outcome of the Habitat Regulation Appraisal.



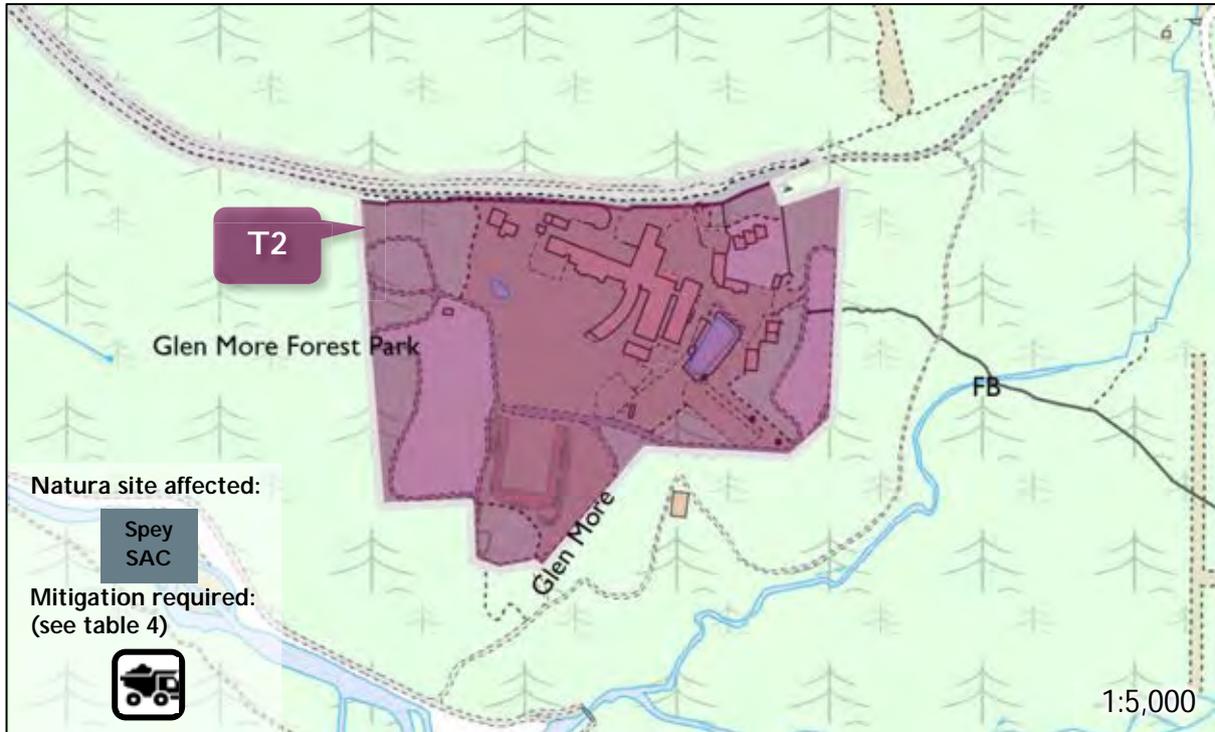
Development proposals should seek to protect and integrate with existing path networks on the edge of and around the site.



This site is situated in close proximity to a wastewater treatment works. There is strategic sewerage infrastructure running through this site. Enhancement of the small watercourses running through the site is encouraged.

**T2: Glenmore Lodge  
Allocated for Tourism**

**Size:  
6.3  
ha**



The site is currently in use for Glenmore Lodge Outdoor centre. The site is an established business continuing to support the provision of tourism accommodation and activities and should be protected from adverse development. Any future development of the site must be for tourism uses and compatible with the existing operational business.

Any further development on the site will require:



Medium to high probability flood risk nearby. A Flood Risk Assessment or other supporting information will be required to inform the developable area.



Where appropriate, enhancement opportunities will be supported, subject to a satisfactory outcome of the Habitat Regulation Appraisal

# GLENSHEE

GLENSHEE is a small dispersed community in the south of the National Park and is located on the route to the ski centre at Glenshee. With no defined settlement boundary, and no new development allocations, development here should be of a small-scale, organic nature designed to meet local need.

## Settlement objectives

- Support development that enhances the visitor experience and complements the role of Glenshee as a focus for visitors
- Facilitate appropriate economic growth which supports a thriving community
- Support small-scale organic growth through the Local Development Plan's housing policy

## Environmental constraints

A number of formal designations may affect development proposals:

- Cairngorms Massif SPA
- River Tay SAC
- Forest of Clunie SPA

## Developer obligations

### Affordable housing

All housing developments should include 25%



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# INSH

INSH lies on the east of the Insh Marshes – a National Nature Reserve and one of the most important wetlands in Europe. The village is a small community with a small but diverse economy.

## Settlement objectives

- Facilitate economic growth that supports the local community
- Support small-scale, organic growth



## Developer obligations

### Affordable housing

All housing developments should include 25% affordable housing

### Planning obligations

Contributions will be sought from any housing developments towards:

- An extension to Kingussie High School
- Increasing capacity at strategic community leisure facilities serving Insh

# INVERDRUIE & COYLUMBRIDGE

INVERDRUIE and COYLUMBRIDGE lie on the edge of Aviemore leading to the popular tourist attractions at Glenmore and Cairngorm Mountain. Inverdrue has a number of visitor attractions and services.

## Settlement objectives

- Support development that enhances the visitor experience of Inverdrue and Coylumbridge
- Facilitate appropriate economic growth which supports a thriving community
- Support small-scale, organic growth

## Developer obligations

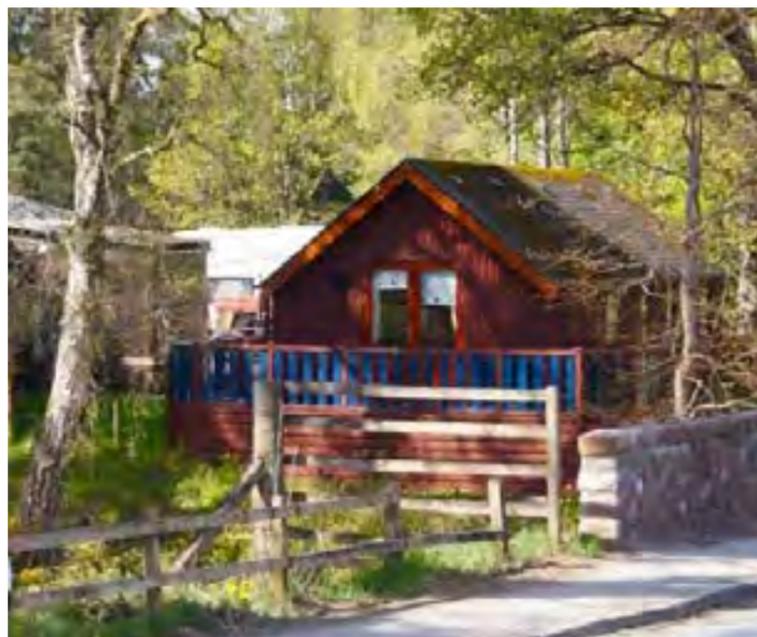
### Affordable housing

All housing developments should include 25% affordable housing

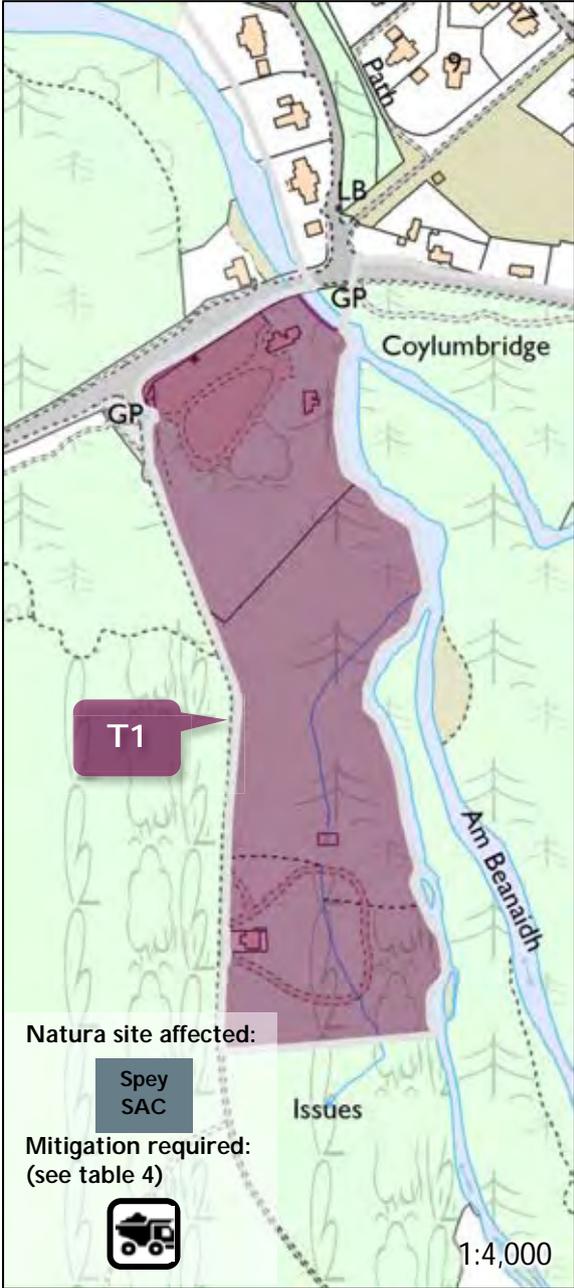
### Planning obligations

Contributions will be sought from any housing developments towards:

- Increasing Primary School capacity in Aviemore
- An extension to Kingussie High School
- Increasing capacity at strategic community leisure facilities serving Inverdrue and Coylumbridge



# PROPOSALS



**T1: Camping Site  
Allocated for Tourism** **3.8 ha**

The site is currently in operation as a popular camping site. It is an established business continuing to support the provision of tourism accommodation and should be protected from adverse development. Any future development on the site must be for tourism uses and compatible with the existing operational business.



Medium probability flood risk on part of the site. A Flood Risk Assessment will be required for any new development or change in layout on the site.



Landscaping and structure planting will be required to ensure integration of the development with the surrounding landscape. Where appropriate, enhancement opportunities will be supported, subject to a satisfactory outcome of the Habitat Regulation Appraisal.



Development proposals should seek to protect and integrate with existing path networks on the edge of and around the site.



The site is located a considerable distance from the public waste water network. The installation of network from the site to the public sewers is the responsibility of the developer.

# KILLIECRANKIE

KILLIECRANKIE is a small village in Highland Perthshire. The local economy is focused on tourism and outdoor leisure.

## Settlement objectives

- Support development which enhances the visitor's experience of Killiecrankie
- Facilitate appropriate economic growth which supports a thriving community
- Support small-scale, organic growth
- Support proposals for safe active travel around the village and to surrounding settlements

## Developer obligations

### Affordable housing

All housing developments should include 25% affordable housing

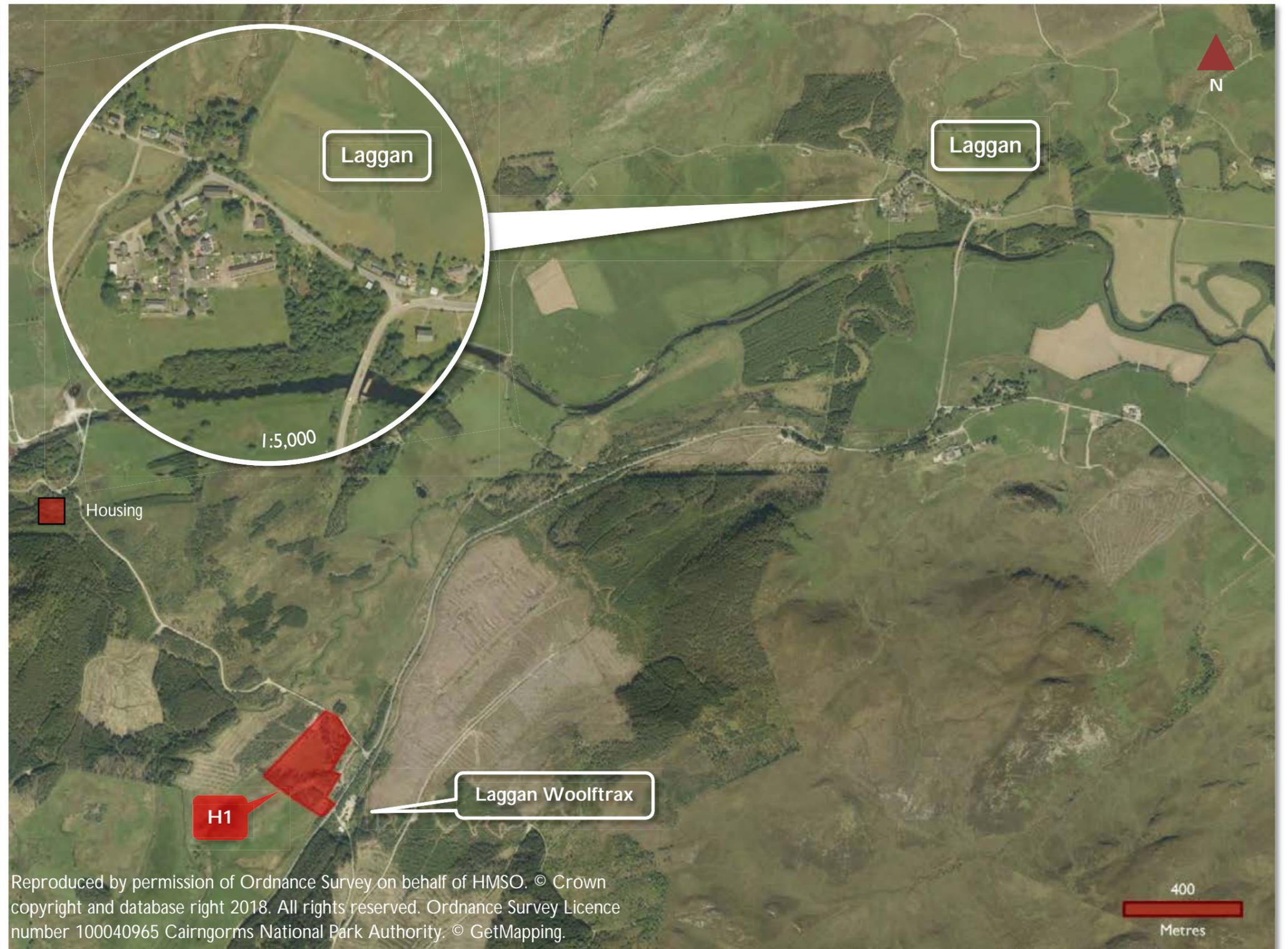


# LAGGAN

LAGGAN is a small dispersed community in the west of the National Park. It is a popular area for visitors, particularly for mountain biking and enjoying the surrounding countryside. With no defined settlement boundary, development here should be of a small-scale, organic nature designed to meet local need.

## Settlement objectives

- Support development which enhances the visitor experience of Laggan
- Facilitate appropriate economic growth which supports a thriving community
- Support small-scale organic growth through the Local Development Plan's housing policy



## Developer obligations

### Affordable housing

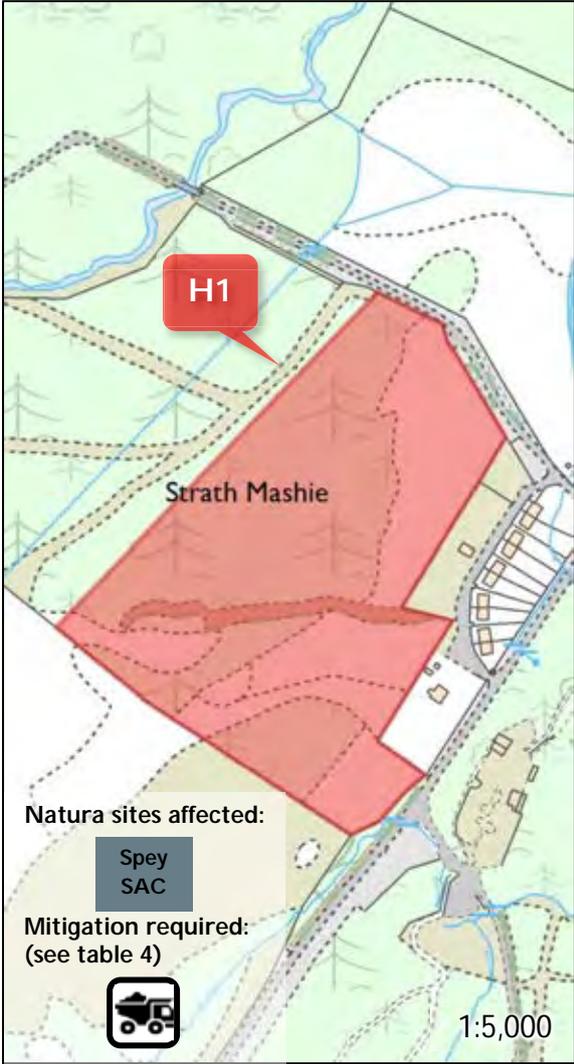
All housing developments should include 25% affordable housing

### Planning obligations

Contributions will be sought from any housing developments towards:

- An extension to Kingussie High School
- Increasing capacity at strategic community leisure facilities serving Laggan

# PROPOSALS



**H1: Land adjacent to A86 Allocated for Housing**      **Indicative Capacity: 8 units**      **5.3 ha**

The site is allocated for affordable dwellings to help meet local needs in Laggan. The site lies behind the existing row of Foresters Cottages and could provide an opportunity for the development of a range of affordable dwellings, including self-build plots.

-  Medium to high probability flood risk adjacent to the site. A Flood Risk Assessment or other supporting information will be required to inform the developable area.
-  Landscaping and structure planting will be required to ensure integration of the development with the surrounding landscape.
-  Development proposals should seek to protect and integrate with existing path networks along the edge of the site.
-  No water or waste water network near site. Private supplies may be required.

# STRATHDON

STRATHDON lies in Upper Donside in the east of the National Park and is made up of a number of dispersed communities. The economy is largely based on agriculture and land management with a growing tourism sector. With no defined settlement boundary, and no new development allocations, development here should be of a small-scale, organic nature designed to meet local need.

The Lecht

Corgarff

Land Outwith  
National Park  
Boundary

Strathdon

1:10,000

Kilometres

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## Objectives

- Facilitate economic growth that supports the local community
- Support small-scale organic growth through the Local Development Plan's housing policy



## Developer obligations

### Affordable housing

All housing developments should include 25% affordable housing

### Planning obligations

Contributions will be sought from any housing developments towards:

- Alford Academy

# Appendix 1: Housing allocations and housing land supply

Settlement	Site ref / name	Total capacity	Effective supply Pre 2020	Effective supply 2020-2024	Effective supply 2025-2029	Effective supply Post 2030
<b>Aberdeenshire</b>						
Ballater	H1: Monaltrie Park	250	0	25	25	200
	C1: Former School	26	26	0	0	0
Braemar	H1: Chapel Brae	6	3	3	0	0
	H2: St Andrews Terrace	30	0	9	21	0
	H3: Kindrochit Court	11	0	11	0	0
	H4: Chapel Brae	6	0	6	0	0
	H5: North Braemar	30	0	0	20	10
Dinnet	H1: Land to East	15	5	10	0	0
<b>Aberdeenshire total</b>		<b>364</b>	<b>34</b>	<b>64</b>	<b>66</b>	<b>210</b>
<b>Highland</b>						
Aviemore	H1: Dalfaber	10	0	10	0	0
	H2: Dalfaber	83	0	40	31	12
	M1: Aviemore Highland Resort	214	10	100	104	0
	ACM: An Camas Mòr	1,500	0	150	150	1200
	LTH 1 & LTH2 North Aviemore	400	0	0	0	0
Grantown-on-Spey	H1: Beachen Court	53	42	11	0	0
	H2: Castle	50	5	45	0	0

Settlement	Site ref / name	Total capacity	Effective supply Pre 2020	Effective supply 2020-2024	Effective supply 2025-2029	Effective supply Post 2030
	Road					
Kingussie	H1: Ardbroilach Road / Craig an Darach	300	10	50	50	190
Newtonmore	H1: Perth Road / Station Road	120	20	43	38	19
Carr-Bridge	H1: Carr Road	36	0	36	0	0
	H2: Crannich Park	23	23	0	0	0
Cromdale	H1: Kirk Road	20	0	0	6	14
	H2: Auchroisk Park	22	6	10	4	0
Dulnain Bridge	H1: Land West of Play Area	20	0	0	20	0
	H2: Land Adjacent A938	20	0	20	0	0
Kincraig	H1: Opposite School	40	4	15	15	6
Nethy Bridge	H1: Lettoch Road	20	0	20	0	0
	H2: Lynstock Crescent	4	0	4	0	0
Dalwhinnie	H1: Land by Garage	6	0	6	0	0
Laggan	H1: Land adjacent A86	8	0	0	0	0
<b>Highland total</b>		<b>2941</b>	<b>120</b>	<b>560</b>	<b>418</b>	<b>1441</b>
<b>Moray</b>						
Tomintoul	H1: Conglass Lane	8	0	8	0	0
	H2: Lecht Drive	8	0	0	8	0
<b>Moray total</b>		<b>16</b>	<b>0</b>	<b>8</b>	<b>8</b>	<b>0</b>

Settlement	Site ref / name	Total capacity	Effective supply Pre 2020	Effective supply 2020-2024	Effective supply 2025-2029	Effective supply Post 2030
<b>Perth &amp; Kinross</b>						
Blair Atholl	H1: Old Bridge of Tilt	20	0	20	0	0
	H2: Main Road	10	0	8	2	0
Calvine	C1: Old School					
<b>Perth &amp; Kinross total</b>		<b>30</b>	<b>0</b>	<b>28</b>	<b>2</b>	<b>0</b>
<b>CNPA total</b>		<b>3351</b>	<b>154</b>	<b>660</b>	<b>494</b>	<b>1651</b>

## Appendix 2: Schedule of land ownership

Settlement	Description of land owned by the Cairngorms National Park Authority or Local Authority	Site Reference
Aviemore	Land at Granish (THC)	ED3 (part)
	Former school playing field (THC)	C2
Ballater	Land at Ballater Business Park (AC)	ED1 (part)
	Ballater Caravan Park (AC)	T1
	Former school site (AC)	C1
Grantown-on-Spey	Land at Beachen Court (THC)	H1 (part)
Kingussie	Depot (THC)	ED1
	Ardvonie car park (THC)	C1
	Car park off Ruthven Road (THC)	C2
	Car park off Spey Street (THC)	C4
Braemar	Depot (AC)	ED1 (part)
	The Mews (AC)	ED2 (part)
Tomintoul	Depot (MC)	ED2
Calvine	Former Struan School (PKC)	C1

Abbreviations used:

AC – Aberdeenshire Council

MC – Moray Council

PKC – Perth and Kinross Council

THC – The Highland Council

# Glossary

**Affordable housing:** Broadly defined as housing at a reasonable quality that is affordable to people on modest incomes. It may take the form of social rented accommodation, private rented accommodation owned and/ or managed by a private sector landlord to approved management and maintenance standards with equivalent registered social landlords rents, shared ownership, shared equity, discounted low cost housing for sale including plots for self build, and low-cost housing without subsidy.

**Ancient woodland:** Woodland that is recorded on the inventory of ancient and long established semi-natural woodland held by SNH, and has been established for many hundreds of years.

**Ancient Woodland Inventory (AWI):** An Inventory of woodland sites that are thought to have been continuously wooded since 1750 or 1860.

**Appropriate Assessment:** An assessment carried out by a planning authority as part of Habitat Regulations appraisal to determine whether it can be concluded that there will be no adverse effects on the integrity of a Natura site from a development proposal. If the planning authority is unable to reach this conclusion, the development proposal can only be approved in the most limited of circumstances.

**Brownfield land:** Land which has previously been developed. The term may cover vacant or derelict land, infill sites, land occupied by redundant or unused buildings, and developed land within the settlement boundary where further intensification of use is considered acceptable.

**Conservation Area:** Areas of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance.

**Compensation:** Where mitigation measures are unable to fully address the loss of natural heritage interest on-site then this may be compensated for off-site to an equivalent level. This may be through creation, restoration or enhancement of habitat, through financial compensation or a combination of both may be considered. Compensation is not always feasible, for example in the case of either glacial landforms or ancient woodland, where the timescales for restoration are impossible within reasonable timescales.

**Development:** The carrying out of building, engineering, mining or other operations, in, on, over or under land, or the making of any material change in the use of any building or other land.

**European Protected Species:** Species listed on Annex IV of the Habitats Directive as species of European Community Interest and in need of strict protection.

**Habitat Regulations appraisal:** An appraisal carried out by a planning authority to determine whether a development proposal would be likely to have significant effects on any Natura 2000 site or designated area, either alone or in combination with other plans or projects. If likely significant effects are identified, the HRA moves on to an Appropriate Assessment.

**Historic Environment Scotland:** Historic Environment Scotland safeguards the nation's built heritage and promotes its understanding and enjoyment on behalf of Scottish Ministers.

**Housing Association:** A non-profit making organisation committed to meeting specific housing needs.

**Listed Buildings:** Buildings are 'Listed' because they are considered to be of special architectural or historic interest and as a result require special protection.

**Mitigation:** Activities that aim to avoid or minimise adverse effects of development. In the context of natural heritage, mitigation is defined as on-site activities that aim to avoid or minimise adverse effects on the natural heritage. This may include amendment to design and layout as well as practical measures such as carrying out works at a particular time of year to avoid disturbing nesting birds or hibernating bats.

**National Parks:** The National Parks (Scotland) Act 2000 enables the establishment of National Parks in Scotland.

**National Scenic Area:** Areas of land designated as being of national significance on the basis of their outstanding scenic interest which must be conserved as part of the country's natural heritage.

**Natura 2000:** Natura 2000 is the name of the European Union-wide network of nature conservation sites established under the EC Habitats Directive. This network will comprise Special Areas of Conservation (SACs) and Special Protection Areas (SPAs).

**Natural heritage:** The natural heritage of the Park includes all species, habitats and ecosystems (biodiversity) together with soils, geology and landform (geodiversity), hydrological regime and the amenity arising from them.

**NVC:** National Vegetation Classification Survey.

**Open market housing:** Housing which is bought and sold on the open market.

**Open space:** Greenspace consisting of any vegetated land or structure, water or geological feature in an urban area and civic space consisting of squares, market places, playgrounds and other paved or hard landscaped areas with a civic function.

**Protected species:** Wild species of animal, plant or fungi that are protected by law and against which an offense may be committed unless a license is obtained. Legal protection is provided by the Conservation (Natural Habitats, &c.) Regulations 1994 as amended, Wildlife and Countryside Act 1981 as amended and Protection of Badgers Act 1992 as amended.

**Public subsidy for housing:** Money from the public purse in the form of subsidy schemes (eg housing association grants) which is made available to help provide affordable housing.

**Ramsar Convention Site:** A designation of globally important wetland areas that are classified to meet the UK's commitments under the Ramsar Convention. Scottish Government Policy states that all Ramsar sites are also Natura 2000 sites and/or Sites of Special Scientific Interest and are protected under the relevant statutory regimes.

**Rural brownfield:** Sites that have previously been used. In rural areas this usually means sites that are occupied by redundant or unused buildings or where the land has been significantly degraded by a former activity.

**Scheduled monument (SMR):** A record of scheduled monuments which are considered to be of national importance that Scottish Ministers have given legal protection to under the Ancient Monuments and Archaeological Areas Act 1979.

**Scotland Ancient Woodland Inventory:** A more sophisticated classification of the inventories of ancient, long established and semi-natural woodlands developed for woodlands in Scotland. For Scottish woods, the category Ancient comprises woods recorded as being of semi-natural origin on EITHER the 1750 Roy maps OR the 1st Edition Ordnance Survey maps of 1860. This is due a) to the likelihood of the latter having been omitted from the Roy maps and b) to render the Scottish classification compatible with that for England and Wales.

**Scotland Semi-Natural Woodland Inventory:** This dataset contains information gathered by remote means using 1970s sources (maps, aerial photos) about the woodland cover present on Ancient and Long Established Woodland Inventory sites. It does not contain information about woods not on the Inventory.

**Scottish Natural Heritage (SNH):** The public body with a remit to secure the conservation and enhancement of Scotland's unique and precious natural heritage, ie wildlife, habitats, geology and landscapes.

**Scottish Water:** Scottish Water is a publicly owned body, answerable to the Scottish Government, that provides water and wastewater services in Scotland.

**Scottish Environment Protection Agency (SEPA):** The public body with a remit for environmental protection. Acting as Scotland's environmental regulator, it monitors and reports on the state of Scotland's environment.

**Section 75 agreement:** Legal agreement regulating the future use of land, recorded in the Land Register and legally binding on future owners of the land.

**Sites of Special Scientific Interest (SSSI) and Areas of Special Scientific Interest (ASSI):** The SSSI/ASSI series has been developed over the last 50 years as the national suite of sites providing statutory protection for the best examples of the UK's flora, fauna, or geological or physiographical features. These sites are also used to underpin other national and international nature conservation designations.

**Special Areas of Conservation (SAC):** SACs are designated by the UK Government to meet its obligations under the EC Habitats Directive. They are areas that have been identified as best representing the range and variety within the European Union of habitats and (non-bird) species listed in Annexes I and II to the Directive. They are of European importance.

**Special Protection Areas (SPA):** SPAs are classified by the UK Government to meet its obligations under the EC Birds Directive. These are areas of the most important habitat for rare (listed in Annex I to the Directive) and migratory birds within the European Union. SPAs are classified under the Wildlife and Countryside Act 1981. SPAs, together with SACs, form the Natura 2000 network. They are of European importance.

**Sustainable:** A way of living and working which uses and manages environmental, social and economic resources in such a way that future generations will also be able to enjoy them.

**Sustainable communities:** A population level and mix that meets the current and future needs of its communities and businesses, focused around settlements where services, networks, expertise and experience support the population.

**Sustainable development:** Development which uses the resources and special qualities of the National Park in such a way that they are used and enjoyed by current generations and that future generations can continue to use and enjoy them.

**Sustainable economic growth:** Scottish Planning Policy (SPP), defines sustainable economic growth as: "Building a dynamic and growing economy that will provide prosperity

and opportunities for all, while ensuring that future generations can enjoy a better quality of life too.”

**Tree Preservation Order (TPO):** A TPO is made by the local planning authority (usually a local council) to protect specific trees or particular woodland from deliberate damage and destruction.

**Viability:** A measure of whether the value generated by a development is more than the cost of developing it (this includes looking at the key elements of gross development value, costs, land value and developer return). In town centre terms, a measure of a town centre’s capacity to attract ongoing investment, for maintenance, improvement and adaption to changing needs.

**Vitality:** A measure of how lively and busy a town centre is.

**Water environment:** The water quality, quantity, hydrology, hydromorphology and aquatic ecology of water bodies, river systems, wetlands and groundwater.

**Wildness:** The quality experienced within areas of wild land character, dependant on physical attributes of perceived naturalness, ruggedness of terrain, remoteness and visible absence of modern artefacts.

**Windfall sites:** Sites which become available for development unexpectedly and are therefore not included as allocated land in the local plan.