
CAIRNGORMS NATIONAL PARK AUTHORITY

DEVELOPMENT PROPOSED:

Erection of 20 houses (amendment to 07/00153/FULBS plots 49 - 68) at Land Between Perth Road And Station Road Newtonmore Highland

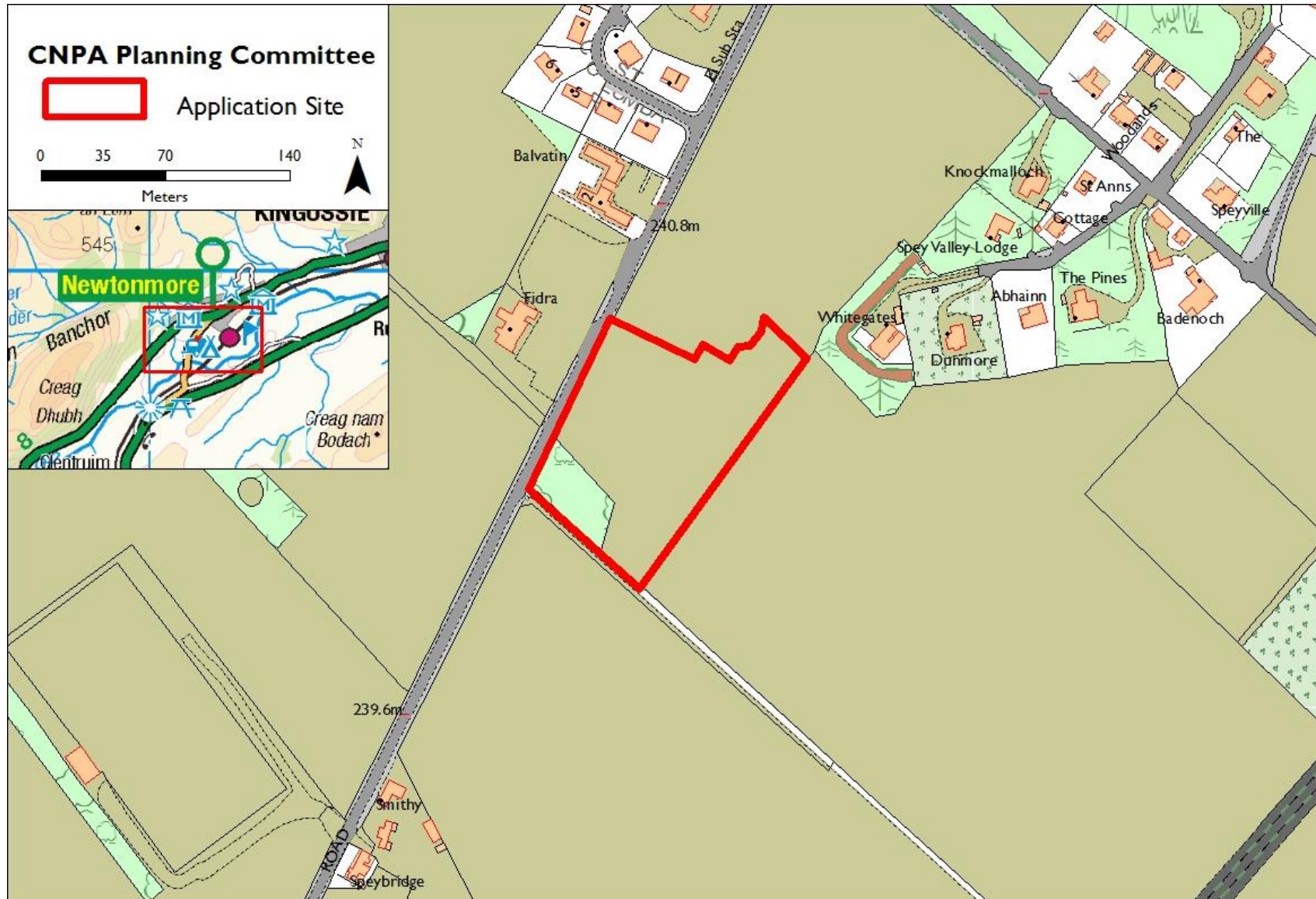
REFERENCE: 2018/0242/DET

APPLICANT: Tulloch Homes Ltd

DATE CALLED-IN: 3 July 2018

RECOMMENDATION: Approve Subject to Conditions

CASE OFFICER: Katherine Donnachie Planning Officer



SITE DESCRIPTION, PROPOSAL AND HISTORY

Site Description

1. The site comprises the southernmost part of a wider site which was granted full planning permission for the erection of 81 houses in 2011. The site out with the application boundary remains under the control of the applicant. The application site is part of an agricultural field and the majority of this roughly L shaped site comprises grazing land with an area to the south comprising native trees and planting. This part of the site lies on the southern edge and is bounded by a track known as the Coffin Road which leads east to the old cemetery and railway line. To the north and east of the site is agricultural land with housing to the far north east. The site is bounded to the west by the B9150 Perth Road and on the opposite (west) side of this road there is a café with car parking. The site is slightly sloping in the eastern part.
2. The site lies within the 30 mph limits of Newtonmore and there is a pavement running alongside the B9150 along the site frontage.
3. There are no environmental designations on the site.

Proposal

4. The drawings and documents associated with this application are listed below and are available on the Cairngorms National Park Authority website unless noted otherwise:

<http://www.eplanningcnpa.co.uk/online-applications/applicationDetails.do?activeTab=summary&keyVal=PBC546SI0CA00>

Title	Drawing Number	Date on Plan*	Date Received
Drainage Layout	14575/02/00 I Rev B	15/06/18	09/07/2018
Road Layout	14575/03/00 I Rev B	15/06/18	09/07/2018
Site Layout As Existing Affordable Housing	3295-01-050	16/03/2018	09/07/2018
Plans & Sections - Plots 49 & 50	3295-01-101	Jan 2018	09/07/2018
Elevations – Plots 49 & 50	3295-01-102	Jan 2018	09/07/2018
Plans & Sections Plots 51 & 52	3295-01-103	Jan 2018	09/07/2018
Elevations – Plots 51 & 52	3295-01-104	Jan 2018	09/07/2018
Plans & Sections Plots 53 & 54	3295-01-105	Jan 2018	09/07/2018
Elevations – Plots 53 & 54	3295-01-106	Jan 2018	09/07/2018
Plans & Sections Plots 55, 56 & 57	3295-01-107	Jan 2018	09/07/2018
Elevations – Plots 55, 56 & 57	3295-01-108	Jan 2018	09/07/2018
Plans & Sections Plots 58, 59 & 60	3295-01-109	Jan 2018	09/07/2018
Elevations – Plots 58, 59 & 60	3295-01-110	Jan 2018	09/07/2018
Plans & Sections Plots 61, 62 & 63	3295-01-111	Jan 2018	09/07/2018
Elevations – Plots 61, 62 & 63	3295-01-112	Jan 2018	09/07/2018
Plans & Sections Plots 64 & 65	3295-01-113	Jan 2018	09/07/2018

Title	Drawing Number	Date on Plan*	Date Received
Elevations – Plots 64 & 65	3295-01-114	Jan 2018	09/07/2018
Plans & Sections Plots 66, 67 & 68	3295-01-115	Jan 2018	09/07/2018
Elevations – Plots 66, 67 & 68	3295-01-116	Jan 2018	09/07/2018
Location Plan Affordable Housing	3295-02-001 Rev A	May 2018	09/07/2018
Location Plan Affordable Housing	3295-02-001 Rev A	May 2018	09/07/2018
Landscaping Plan	TH 100.18 SL-01	15/08/2018	15/08/2018
Site Plan As Proposed – Affordable Housing	3295-01-051 Rev B	Mar 2018	17/08/2018
Site Sections – Affordable Housing	3295-01-052	Aug 2018	17/08/2018
Boundary Treatment – Affordable Housing	3295-01-053	Aug 2018	17/08/2018
Soft landscape management and maintenance regime		15 Aug 2018	15 Aug 2018
Sustainable Design Statement		17 Aug 2018	17 Aug 2018
Drainage Layout	11802/02/00 1 rev M		
Drainage Construction Details	11802/02/00 2 rev C		
Original Road Soakaway Calculations		June 2012	

*Where no specific day of month has been provided on the plan, the system defaults to the 1st of the month.

5. This application seeks full permission to erect twenty affordable houses on part of a wider site which was granted full planning permission in 2011 and on which development has commenced with part of the northernmost access road formed onto the B9150 road.
6. As noted earlier, this application involves the southernmost part of the wider site, fronting the B9150 road at Newtonmore. It is proposed to access the site via a new access point at the southernmost part of the site to the immediate north of an area of existing tree planting which is within the site and bounds it to the south. This area will be supplemented by further planting. It is also proposed to site a pumping station to the north of this planted area.
7. The new access road will lead eastwards into the site then sweep to the north to serve the proposed new housing. The proposed site plan is shown in **Appendix I-Plans**
8. The houses will be formed in a number of groups as follows:
 - (a) Three blocks to the east of the access point comprising two terraced blocks of three single storey houses in each block with front end wing, porch and timber detailing features, and one semi-detached block of two stepped roof single storey houses with rear pitched wings. Communal parking areas and some landscaping is also proposed;

- (b) Five block of housing to the north east of the access road comprising two terraced blocks of three two storey houses with timber features, and three semi-detached blocks comprising one block of semi-detached single storey houses with front porches and rear wings, and two remaining blocks of two storey. Two areas of communal parking are proposed to serve this housing along with driveway parking for the northernmost block.
9. Visualisations have been provided to illustrate how the proposed housing will sit on site and these are attached, along with the proposed house types in **Appendix I – Plans**.
 10. The proposed finishes of the houses are roughcast rendered walls with elements of horizontal board cladding and a smooth render band basecourse. Pitched roofs to be finished with flat grey concrete tiles.
 11. Each unit has been designed to have an energy efficient envelope and air source heat pumps will be installed on each dwelling.
 12. The access road continues west stopping at the edge of the site. This access layout is broadly similar to that previously approved – a copy of the previously approved layout is attached as **Appendix 2- Originally approved site plan**
 13. It is proposed to dispose of surface water via a system of stormbloc trenches as per the original planning consent here with the proposed system connecting into the wider SUDS for the site.

History

14. The original development was applied for in 2007 and subsequently granted planning permission in 2011 and in 2016 the conditions were discharged and the permission implemented by creating the access into the site.

DEVELOPMENT PLAN CONTEXT

Policies

National Policy	Scottish Planning Policy 2014	
Strategic Policy	Cairngorms National Park Partnership Plan 2017 - 2022	
Local Plan Policy	Cairngorms National Park Local Development Plan (2015) Those policies relevant to the assessment of this application are marked with a cross	
POLICY 1	NEW HOUSING DEVELOPMENT	X
POLICY 2	SUPPORTING ECONOMIC GROWTH	
POLICY 3	SUSTAINABLE DESIGN	X
POLICY 4	NATURAL HERITAGE	
POLICY 5	LANDSCAPE	X
POLICY 6	THE SITING AND DESIGN OF DIGITAL COMMUNICATIONS EQUIPMENT	
POLICY 7	RENEWABLE ENERGY	
POLICY 8	SPORT AND RECREATION	

POLICY 9	CULTURAL HERITAGE	
POLICY 10	RESOURCES	
POLICY 11	DEVELOPER CONTRIBUTIONS	

15. All new development proposals require to be assessed in relation to policies contained in the adopted Local Development Plan. The full wording of policies can be found at: <http://cairngorms.co.uk/uploads/documents/Park%20Authority/Planning/LDPI5.pdf>
16. Other relevant local policies are (delete if not applicable)

Planning Guidance

17. Supplementary guidance also forms part of the Local Development Plan and provides more details about how to comply with the policies. Guidance that is relevant to this application is marked with a cross.

Policy 1	New Housing Development Non-Statutory Guidance	X
Policy 2	Supporting Economic Growth Non-Statutory Guidance	
Policy 3	Sustainable Design Non-Statutory Guidance	X
Policy 4	Natural Heritage Supplementary Guidance	
Policy 5	Landscape Non-Statutory Guidance	X
Policy 7	Renewable Energy Supplementary Guidance	
Policy 8	Sport and Recreation Non-Statutory Guidance	
Policy 9	Cultural Heritage Non-Statutory Guidance	
Policy 10	Resources Non-Statutory Guidance	
Policy 11	Developer Contributions Supplementary Guidance	

CONSULTATIONS

18. A summary of the main issues raised by consultees now follows:
19. **Scottish Water** has no objection to this planning application.
20. **The Transport Planning Team** has no objection to the development proposed as the new layout would appear to involve only limited material change.
21. **CNPA Landscape** states the proposed landscaping reflects the landscaping previously approved and offers no further comment.
22. **CNPA Outdoor Access team** state that they are content the route will not adversely affect the “Coffin Road”, a locally important historical route.
23. **Community Council** offers no objection to the proposed development.

REPRESENTATIONS

24. There have been no representations received for this application.

APPRAISAL

Principle

25. The application has been sought to amend part of a previously approved development, therefore the principle of the development has been established. Planning application 07/230/CP was approved subject to 37 planning conditions, a number of which related to the Roads Construction Consent and a some have either been part or fully discharged and are therefore no longer required for this application.

Affordable Housing

26. The application consists of 20 affordable homes which is the number allocated to application 07/230/CP or 25 percent of the overall development. The house types proposed have been developed in conjunction with Albyn Housing Association and Caledonia Housing Association to provide an appropriate housing mix to meet the local social housing demand and as such the proposal complies with Policy I: Housing of the Cairngorms National Park Local Development Plan.

Previous Application and Conditions

27. As part of the 2007 planning permission a phasing plan was sought to ensure the permission was built in a sustainable way, this permission will encompass the first phase with the remaining being phases controlled through condition.
28. The design and layout of the site has differed from the approved development and as such the SUDS arrangements will be required to be updated to reflect current practise.
29. SEPA instructed the Construction Method Statement to be updated to reflect the progress of development as construction took hold, therefore a condition will be added to ensure this is submitted.
30. An updated landscaping scheme was submitted as part of this application and accepted to ensure the proposal complies with Policy 5 Landscape of the Cairngorms National Park Local Development Plan.
31. The 2007 application dealt with both the Archaeology and contaminated land aspects. The proposal complies with Policy 3: Sustainable Design of the Cairngorms National Park Local Development Plan.

Conclusion

32. As the principle of development has been established, the issues to consider are the proposed revisions and these are considered to accord with the policies in the Cairngorm National Park Local Development Plan 2015.

RECOMMENDATION

That Members of the Committee support a recommendation to approve the Erection of 20 houses (amendment to 07/00153/FULBS plots 49 - 68) at Land Between Perth Road And Station Road Newtonmore Highland for the following reasons/subject to the following conditions:

Those conditions listed below in bold text are suspensive conditions, which require to be discharged prior to implementation of the development.

Conditions

- 1. Prior to the commencement of the development hereby approved an updated scheme for the phasing of this development hereby approved and the remainder of the site shall be submitted to and approved in writing by the CNPA acting as Planning Authority.**

Reason: To ensure priority is given to the affordable element of the overriding development in accordance with Policy 1: Housing of the Cairngorms National Park Local Development Plan 2015.

- 2. The final SUDS scheme for this phase of the overall development shall be implemented and operational prior to the occupation of any development in that phase and all SUDS measures shall be maintained in perpetuity in accordance with this.**

Reason: To ensure that surface and foul water drainage is satisfactorily managed in order to minimise any risk of pollution or flooding which may affect persons, property or natural heritage interests in accordance with Policy 3: Sustainable Development of the Cairngorms National Park Local Development Plan 2015.

- 3. Prior to the commencement of development an updated detailed Construction Method Statement shall be submitted for the agreement of the Cairngorms National Park Authority acting as Planning Authority, in consultation with SEPA incorporating the changes as approved in this application and must be implemented in full during works on site. The method statement must address the following:**
 - a) Timing of works – works should be undertaken to avoid periods of high rainfall;**
 - b) Fuel or chemicals – measures to ensure any fuel / chemicals from plant does not cause pollution;**
 - c) Landscaping works – planting should be undertaken to minimise run off;**
 - d) Waste – all waste streams, and estimated quantities thereof, associated with the works should be identified and measures to minimise waste production identified; and**
 - e) Existing and proposed site levels including any spoil storage areas.**

Reason: To ensure that there is no pollution during construction or thereafter caused by the construction in accordance with Policy 3: Sustainable Development of the Cairngorms National Park Local Development Plan 2015.

4. The management and maintenance of the site shall be carried out by Life Property Management, as agreed under condition 25 of application 07/230/CP (or as superseded by any subsequent Section 42 or other applications), unless otherwise agreed in writing with the Cairngorms National Park Authority acting as Planning Authority.

Reason: To ensure that the development is satisfactorily managed and maintained into the future in accordance with Policy 3: Sustainable Development of the Cairngorms National Park Local Development Plan 2015.

5. The landscaped areas shall be retained in perpetuity in accordance with the detailed maintenance schedule/table. Any trees or shrubs removed, or which in the opinion of the CNPA acting as Planning Authority, are dying, being severely damaged or becoming seriously diseased within three years of planting, shall be replaced by trees or shrubs of similar size and species to those originally required to be planted.

Reason: To ensure the development conserves and enhances the landscape character in accordance with Policy 5: Landscape of the Cairngorms National Park Local Development Plan 2015.

Informatives

1. The development hereby approved must commence within 3 years of the date of this decision notice. If development has not commenced within this period then this planning permission will lapse.
2. The person undertaking the development is required to give the Planning Authority prior written notification of the date on which it is intended to commence the development. Attached to this decision notice is a Notice of Initiation of Development for completion and submission. Submission of this information assists the Cairngorms National Park Authority Monitoring and Enforcement Officer in monitoring active work within the area to ensure compliance with the approved details and to identify and correct any potential problems, as they arise, rather than later when it may be more difficult and more costly to rectify. Failure to give notice would constitute a breach of planning control which may result in enforcement action being taken.
3. Following completion of the development, a notification of the completion shall, as soon as practicable, be given to the Planning Authority. Attached to this decision notice is a Notice of Completion of Development for completion and submission. Submission of this form will assist the Cairngorms National Park Authority Monitoring and Enforcement Officer in making a final inspection and checking compliance with the approved drawings and conditions. If the development hereby approved is to be carried out in phases, then a notice of completion should be submitted at the completion of each phase.

The map on the first page of this report has been produced to aid in the statutory process of dealing with planning applications. The map is to help identify the site and its surroundings and to aid Planning Officers, Committee Members and the Public in the determination of the proposal. Maps shown in the Planning Committee Report can only be used for the purposes of the Planning Committee. Any other use risks infringing Crown Copyright and may lead to prosecution or civil proceedings. Maps produced within this Planning Committee Report can only be reproduced with the express permission of the Cairngorms National Park Authority and other Copyright holders. This permission must be granted in advance.