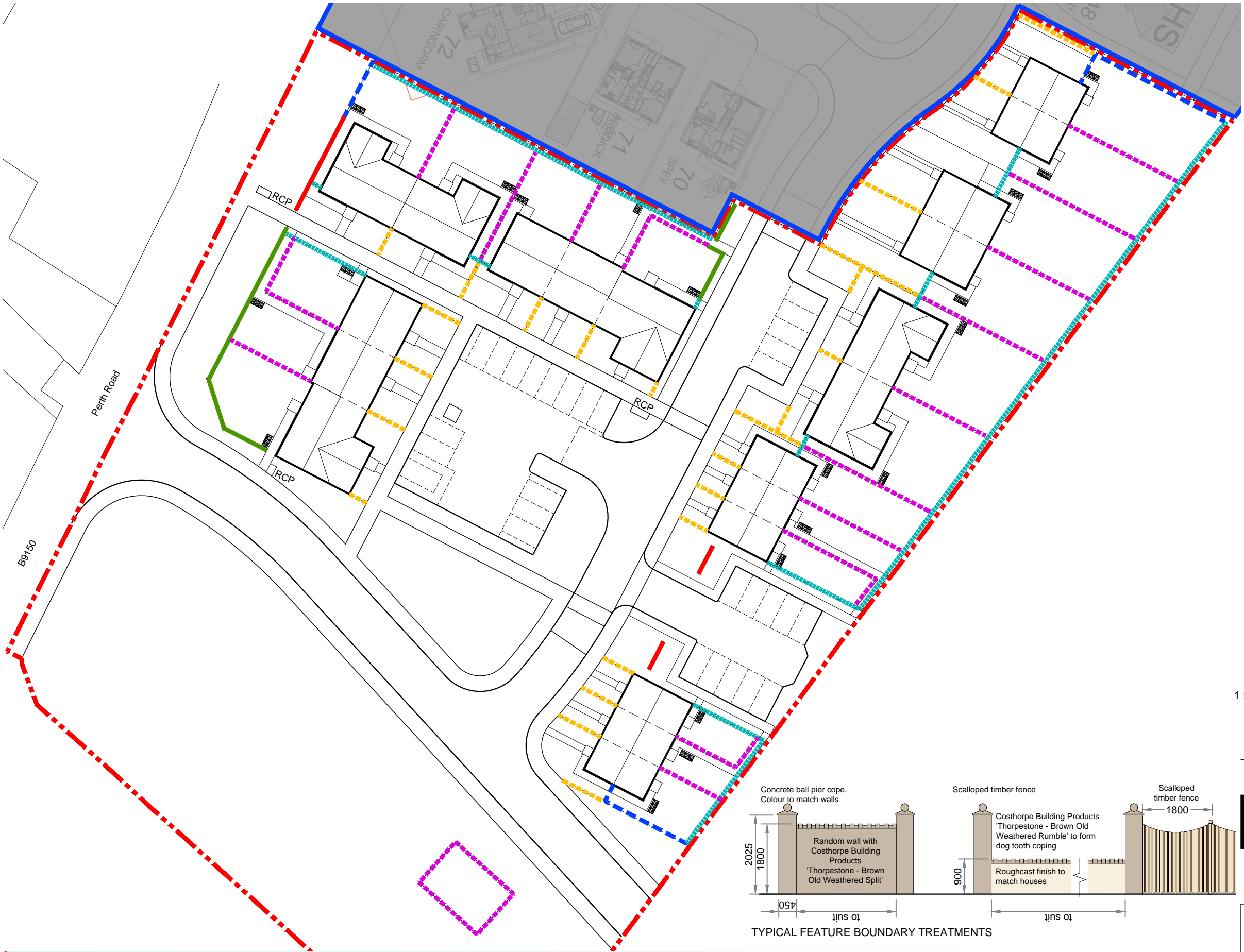


AGENDA ITEM 8

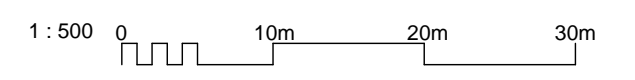
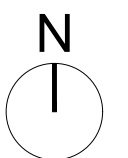
APPENDIX I

2018/0242/DET

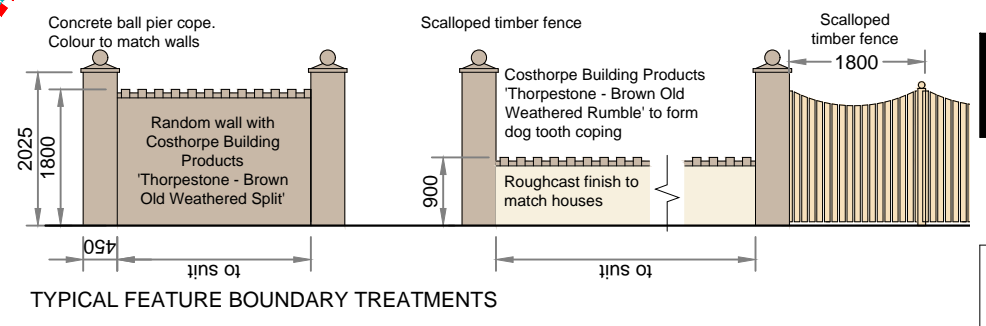
PLANS



- - - APPLICATION BOUNDARY
- OWNERSHIP BOUNDARY
- - - 900mm POST & WIRE/RAIL FENCE
- - - 1800mm TIMBER FENCE
- - - BOUNDARY DIVISION
- 1800mm FEATURE WALL - STONE
- - - 1800mm SCALLOPED TIMBER FENCE
- 900mm FEATURE WALL - ROUGHCAST



REV	DATE	DESCRIPTION	DRN



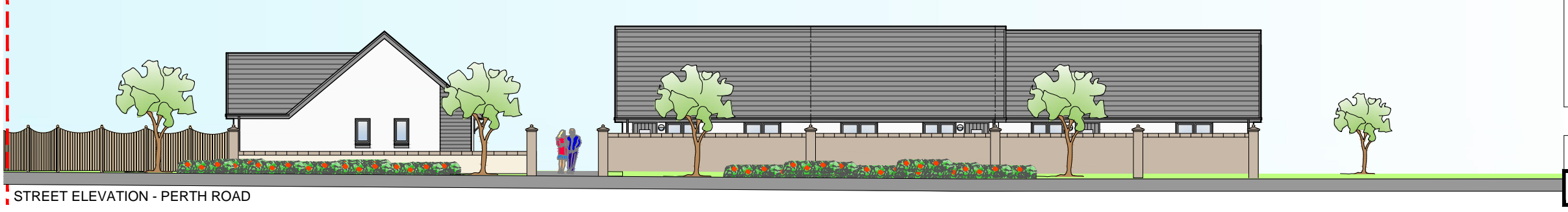
Bracewell Stirling CONSULTING

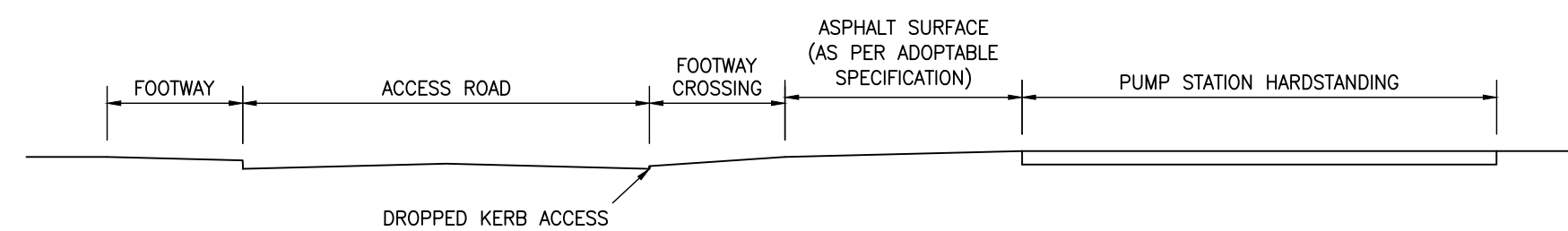
38 WALKER TERRACE, TILlicOLTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

**PERTH ROAD
 NEWTONMORE
 TULLOCH HOMES LTD**

BOUNDARY TREATMENT - AFFORDABLE HOUSING

STATUS:	PLANNING		
SCALE:	1 : 500	DRAWN:	PL
PAPER SIZE:	A3	DATE:	Aug 2018
DWG No.	3295-01-053		REV.



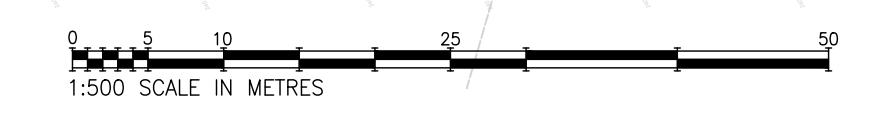
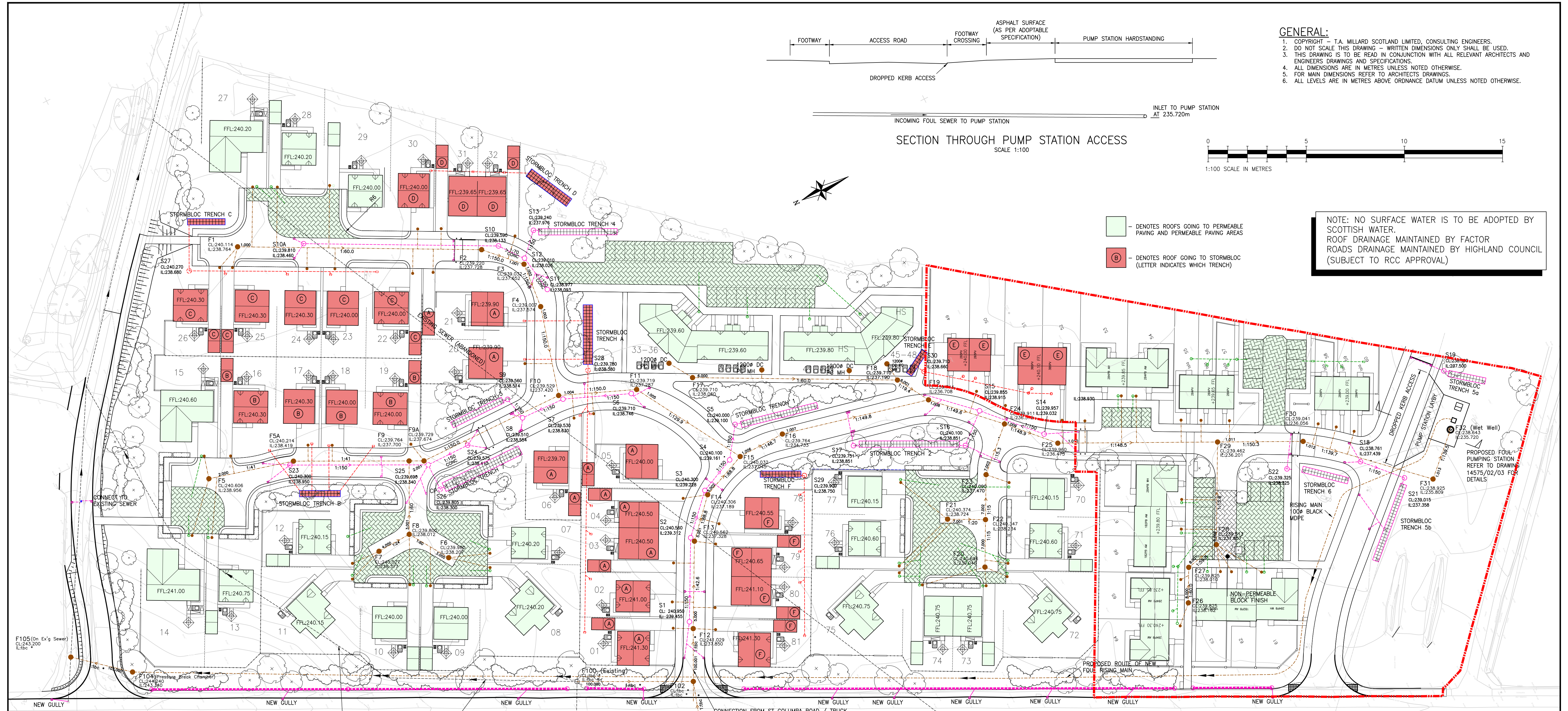


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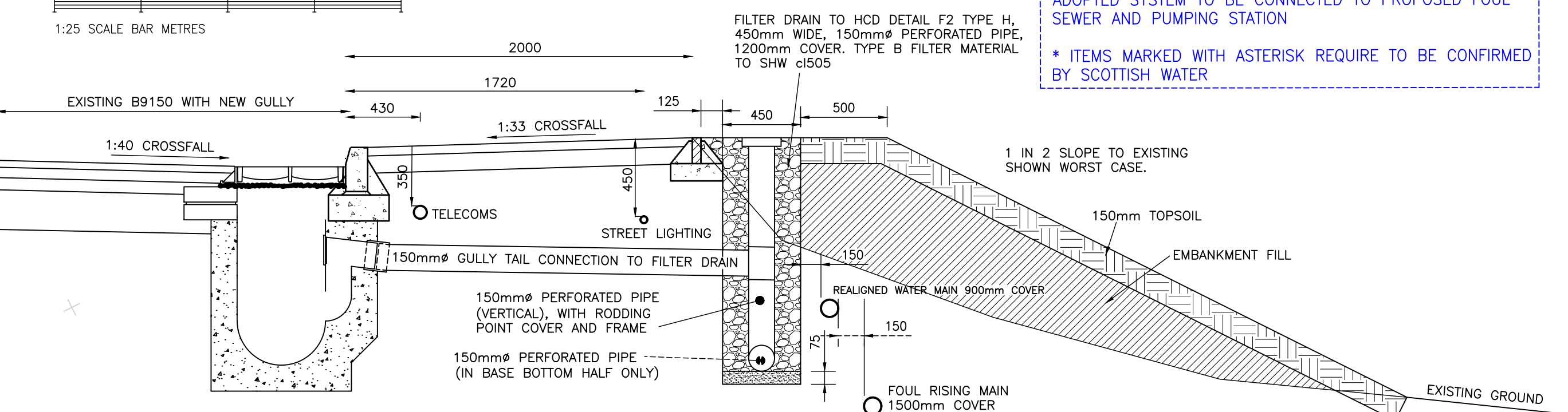
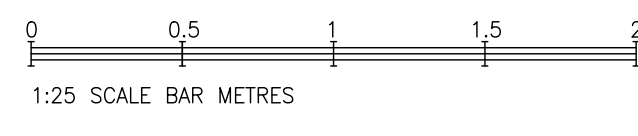
NOTE: NO SURFACE WATER IS TO BE ADOPTED BY SCOTTISH WATER.
 ROOF DRAINAGE MAINTAINED BY FACTOR
 ROADS DRAINAGE MAINTAINED BY HIGHLAND COUNCIL
 (SUBJECT TO RCC APPROVAL)

- - DENOTES ROOFS GOING TO PERMEABLE PAVING AND PERMEABLE PAVING AREAS
- (with letter) - DENOTES ROOF GOING TO STORMBLOC (LETTER INDICATES WHICH TRENCH)



ADDITIONAL FOUL DRAINAGE NOTES
 CCTV EXISTING FOUL SEWER TO CONFIRM NO FURTHER CONNECTIONS
 ON CHECKING, FOUL SEWER TO BE EXCAVATED AND REMOVED FROM SITE

NOTE: SCOTTISH WATER TO CONFIRM FLOWS FROM EXISTING ADOPTED SYSTEM TO BE CONNECTED TO PROPOSED FOUL SEWER AND PUMPING STATION
 * ITEMS MARKED WITH ASTERISK REQUIRE TO BE CONFIRMED BY SCOTTISH WATER



TYPICAL SECTION THROUGH B9150 ROAD, FOOTWAY, AND VERGE
 SCALE 1:25

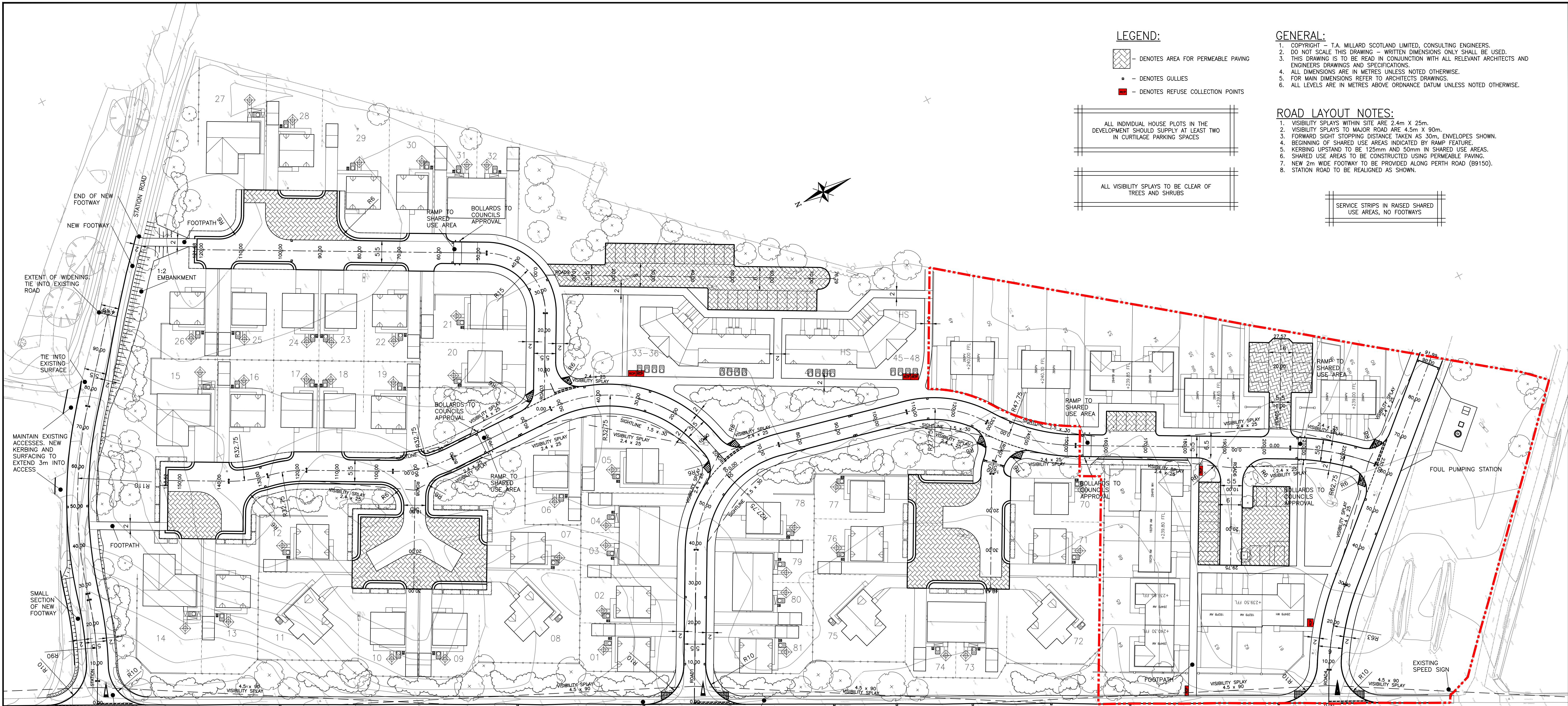
- STORMBLOC TRENCHES - ADOPTABLE ROADS ONLY**
- TRENCH 1 - 1.6m x 20.0m x 0.66m deep
 - TRENCH 2 - 1.6m x 25.6m x 0.66m deep
 - TRENCH 3 - 1.6m x 14.4m x 0.66m deep
 - TRENCH 4 - 2.4m x 24.0m x 1.01m deep
 - TRENCH 5a - 1.6m x 9.6m x 0.66m deep
 - TRENCH 5b - 1.6m x 20.8m x 0.66m deep
 - TRENCH 6 - 1.6m x 12.0m x 0.66m deep
 - TRENCH 7 - 2.4m x 21.6m x 0.66m deep
- STORMBLOC TRENCHES - ROOFS ONLY (PRIVATE)**
- TRENCH A - 2.4m x 15.2m x 0.66m deep
 - TRENCH B - 1.6m x 10.4m x 0.66m deep
 - TRENCH C - 1.6m x 9.6m x 0.66m deep
 - TRENCH D - 2.4m x 12.8m x 0.66m deep
 - TRENCH E - 1.6m x 7.2m x 0.66m deep
 - TRENCH F - 1.6m x 10.4m x 0.66m deep

- LEGEND**
- Sw (CL/Cover Level) / IL/Invert Level) ○ SURFACE WATER CATCHPIT
 - IW ○ 150mm ϕ PERFORATED PIPE INSPECTION WELL WITH COVER
 - PROPRIETARY SURFACE WATER uPVC DISCONNECTING CHAMBER
 - Fxx (CL/Cover Level) / IL/Invert Level) ○ FOUL MANHOLE
 - FOUL BACKDROP MANHOLE
 - PROPRIETARY FOUL WATER uPVC DISCONNECTING CHAMBER
 - TRAPPED PLASTIC GULLY
 - SW SEWER (All 150mm ϕ uPVC uno)
 - FOUL SEWER (All 150mm ϕ uPVC uno)
 - FOUL RISING MAIN
 - EXISTING SEWER
 - PERMEABLE PAVING (350mm THK STONE RESERVOIR)
 - FILTER DRAIN TO B9150 WITH CATCHPITS TO SHW HCD F11
 - STORMBLOC PIPE (All 150mm ϕ uPVC uno)
 - STORMBLOC TRENCH (ROOFS)
 - STORMBLOC TRENCH (ADOPTABLE ROADS)




REV	AMENDMENT DETAILS	DRAWN	APPROVED	DATE
B	SCALE BARS ADDED	DMcI		26.06.18
A	SITE BOUNDARY LINE ADDED	DMcI		18.06.18

PROJECT PROPOSED DEVELOPMENT AT PERTH ROAD, NEWTONMORE	DESIGNED BY FP	DRAWN BY DMcI	SCALE 1:500
DRAWING TITLE DRAINAGE LAYOUT	CHECKED BY	APPROVED BY	
CLIENT TULLOCH HOMES Ltd	DRAWING NUMBER 14575/02/001	DRAWING STATUS PRELIMINARY	DATE 15.06.18
Dundee Office Seabrook 18 Greenmarket Dundee DD1 4QB	tel: 01382 227380 email: dundee@millardconsulting.co.uk web: www.millardconsulting.co.uk		REVISION B





LEGEND:

-  - DENOTES AREA FOR PERMEABLE PAVING
-  - DENOTES GULLIES
-  - DENOTES REFUSE COLLECTION POINTS

ALL INDIVIDUAL HOUSE PLOTS IN THE DEVELOPMENT SHOULD SUPPLY AT LEAST TWO IN CURTILAGE PARKING SPACES

ALL VISIBILITY SPLAYS TO BE CLEAR OF TREES AND SHRUBS

SERVICE STRIPS IN RAISED SHARED USE AREAS, NO FOOTWAYS

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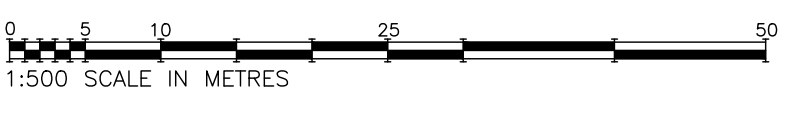
ROAD LAYOUT NOTES:

1. VISIBILITY SPLAYS WITHIN SITE ARE 2.4m X 25m.
2. VISIBILITY SPLAYS TO MAJOR ROAD ARE 4.5m X 90m.
3. FORWARD SIGHT STOPPING DISTANCE TAKEN AS 30m, ENVELOPES SHOWN.
4. BEGINNING OF SHARED USE AREAS INDICATED BY RAMP FEATURE.
5. KERBING UPSTAND TO BE 125mm AND 50mm IN SHARED USE AREAS.
6. SHARED USE AREAS TO BE CONSTRUCTED USING PERMEABLE PAVING.
7. NEW 2m WIDE FOOTWAY TO BE PROVIDED ALONG PERTH ROAD (B9150).
8. STATION ROAD TO BE REALIGNED AS SHOWN.

REALIGNMENT AND WIDENING OF STATION ROAD INCLUDING JUNCTION IMPROVEMENT

RECONSTRUCT EXISTING FOOTWAY 2m WIDE ALONG EXISTING KERBLINE. ANY DAMAGED KERBS TO BE REPLACED AS REQUIRED ALONG THE LENGTH.

EXISTING SPEED SIGN - REFER TO ARCHITECT'S DRAWINGS



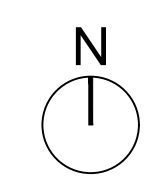
B	SCALE BAR ADDED	DMcI	26.06.18
A	SITE BOUNDARY LINE ADDED	DMcI	18.06.18
REV	AMENDMENT DETAILS	DRAWN	APPROVED
			DATE

PROJECT PROPOSED DEVELOPMENT AT PERTH ROAD, NEWTONMORE	DESIGNED BY FP	DRAWN BY DMcI	SCALE 1:500
DRAWING TITLE ROAD LAYOUT	CHECKED BY	APPROVED BY	DATE 15.06.18
CLIENT TULLOCH HOMES Ltd	DRAWING NUMBER 14575/03/001	REVISION B	

Dundee Office
Seabraes
18 Greenmarket
Dundee
DD1 4QB

tel: 01382 227380
email: dundee@millardconsulting.co.uk
web: www.millardconsulting.co.uk





REV	DATE	DESCRIPTION	DRN

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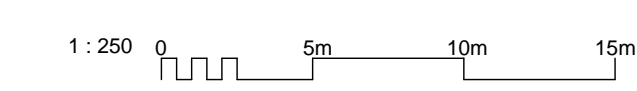
38 WALKER TERRACE, TILlicOLTRY, FK13 6EF
 TEL: 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF
 TEL: 01463 233760

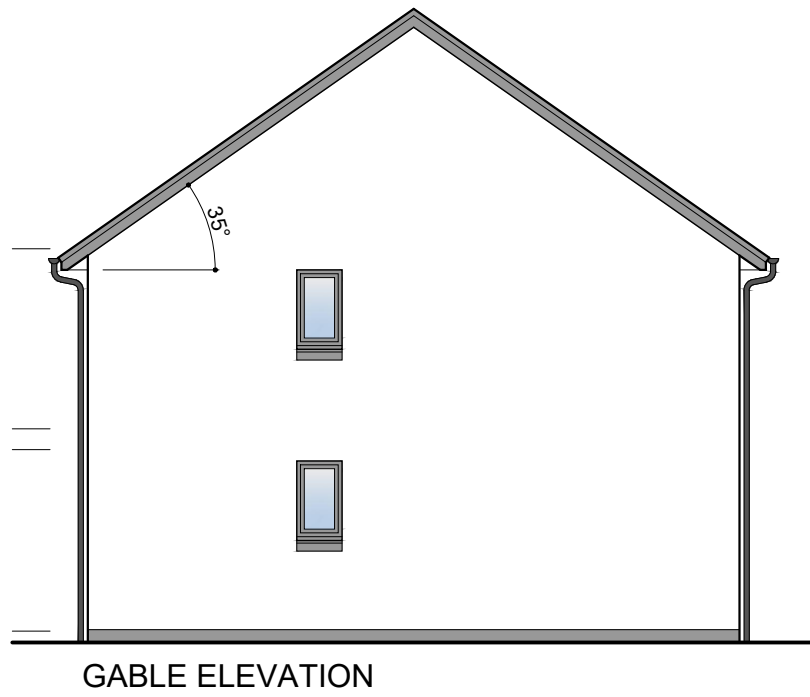
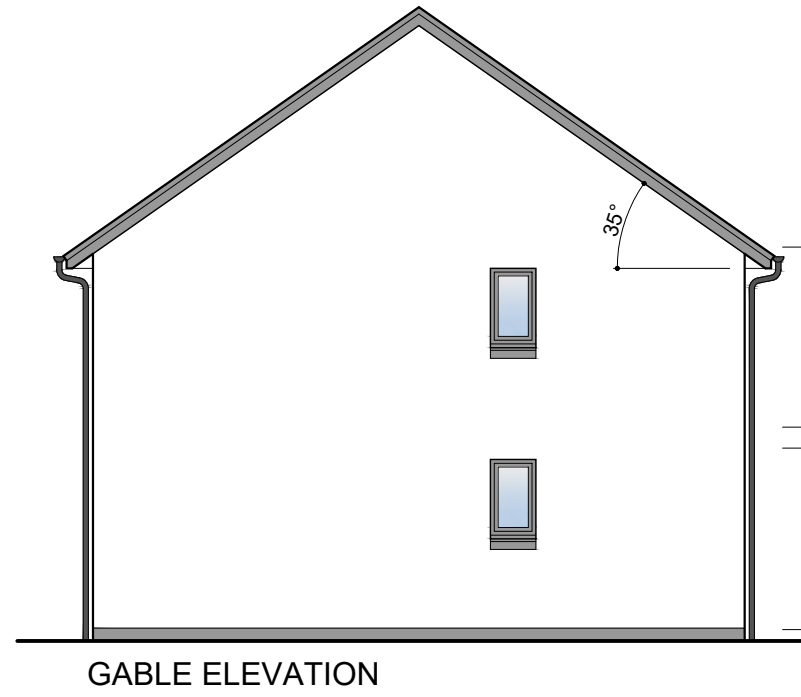
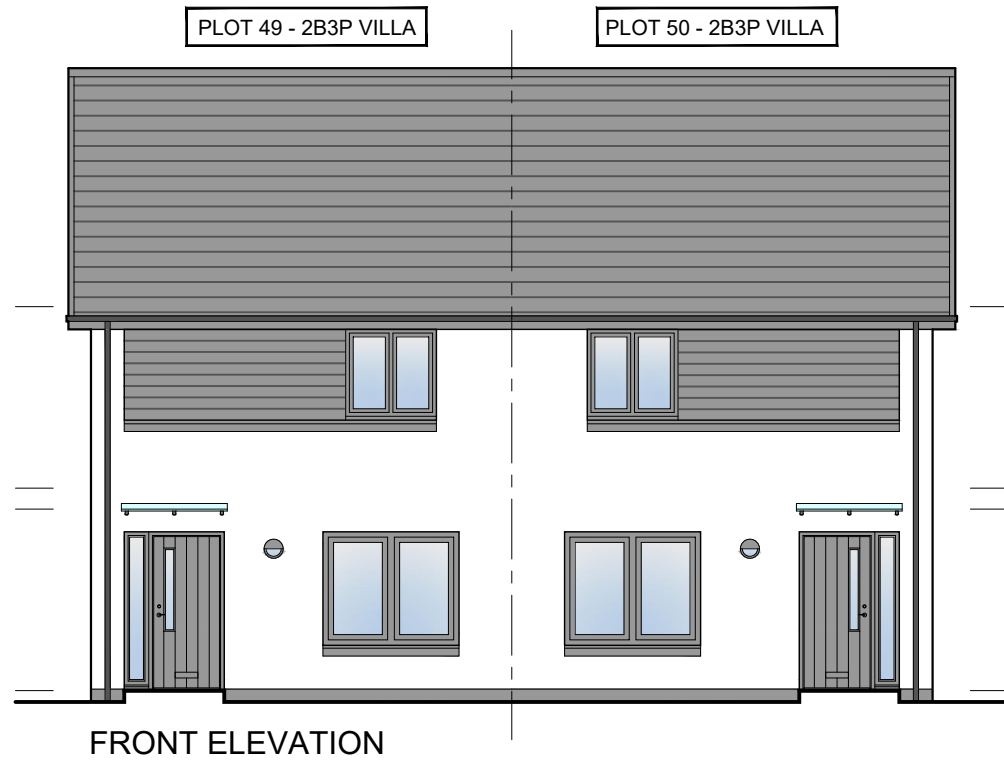
PERTH ROAD
 NEWTONMORE
 TULLOCH HOMES LTD

TITLE
 SITE LAYOUT AS EXISTING - AFFORDABLE HOUSING

SCALE	DATE	BY	PL
1 : 250	16/03/2018		
DWG NO.-REV	PURPOSE	PAPER	A1

3295-01-050





REV	DATE	DESCRIPTION	DRN

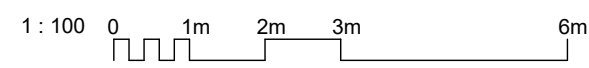
Bracewell Stirling CONSULTING

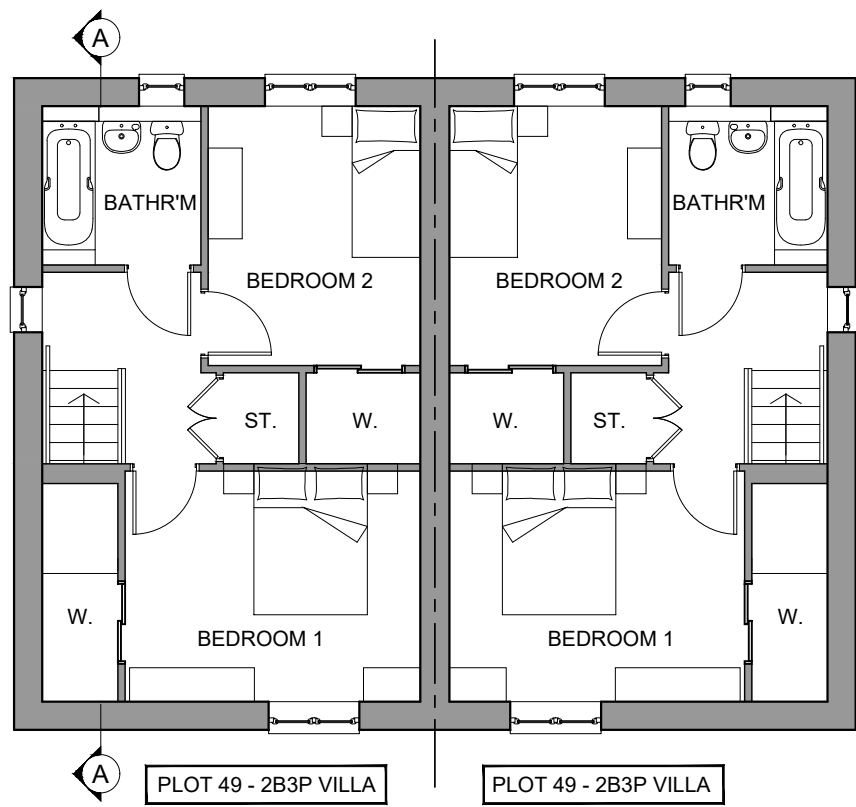
38 WALKER TERRACE, TILlicOLTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PERTH ROAD
 NEWTONMORE
 TULLOCH HOMES LTD

ELEVATIONS - PLOTS 49 & 50

STATUS:	PLANNING		
SCALE:	1 : 100	DRAWN:	--
PAPER SIZE:	A3	DATE:	Jan 2018
DWG No.	3295-01-102		REV.

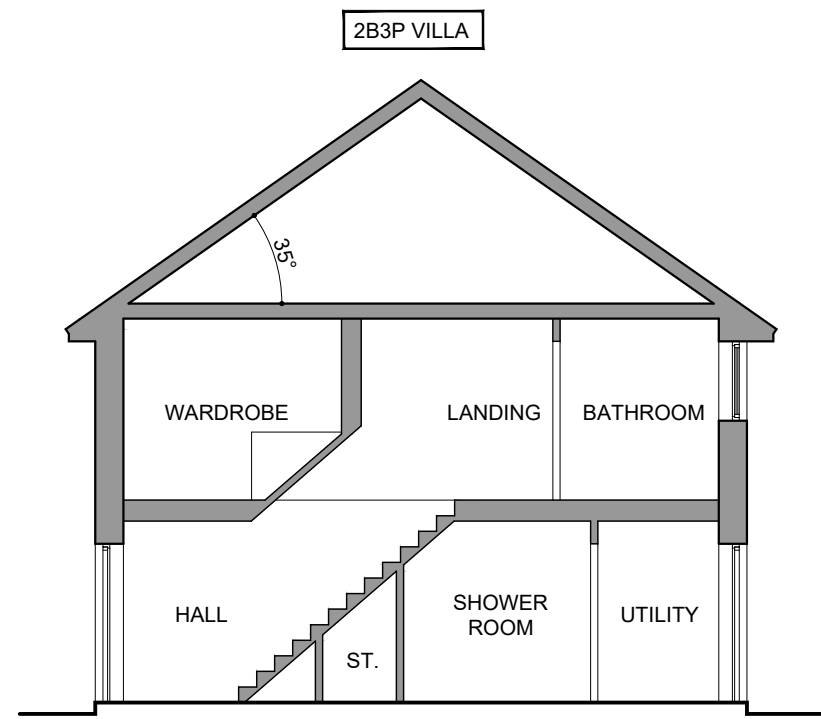




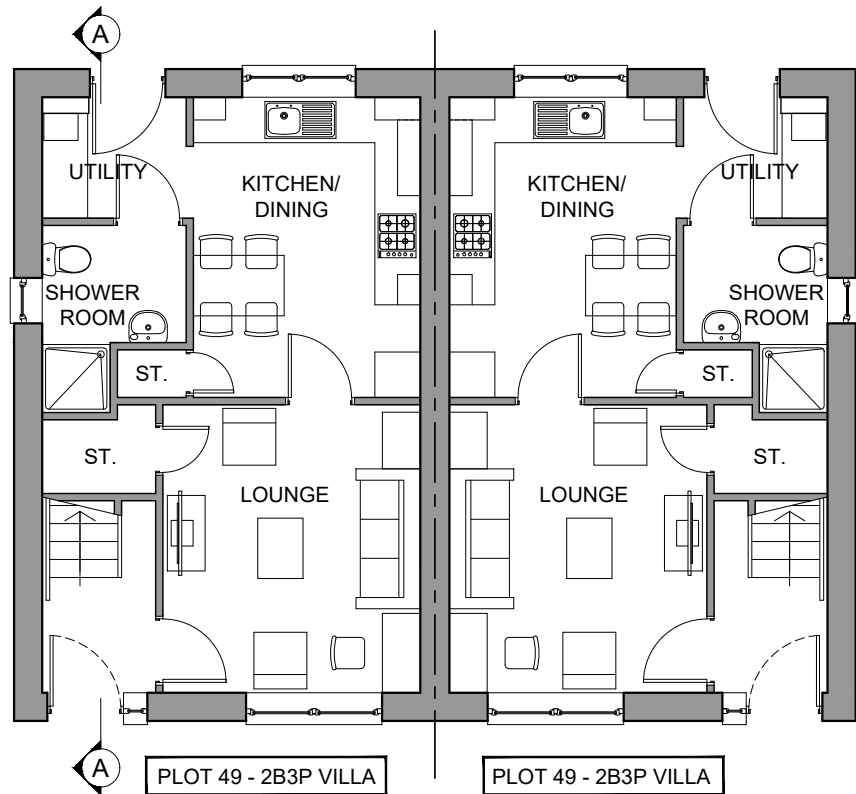
FIRST FLOOR PLAN



ROOF PLAN (1:200@A3)



SECTION AA



GROUND FLOOR PLAN

REV	DATE	DESCRIPTION	DRN
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38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

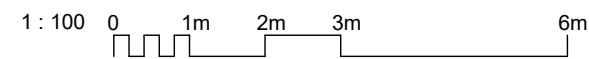
PERTH ROAD
 NEWTONMORE
 TULLOCH HOMES LTD

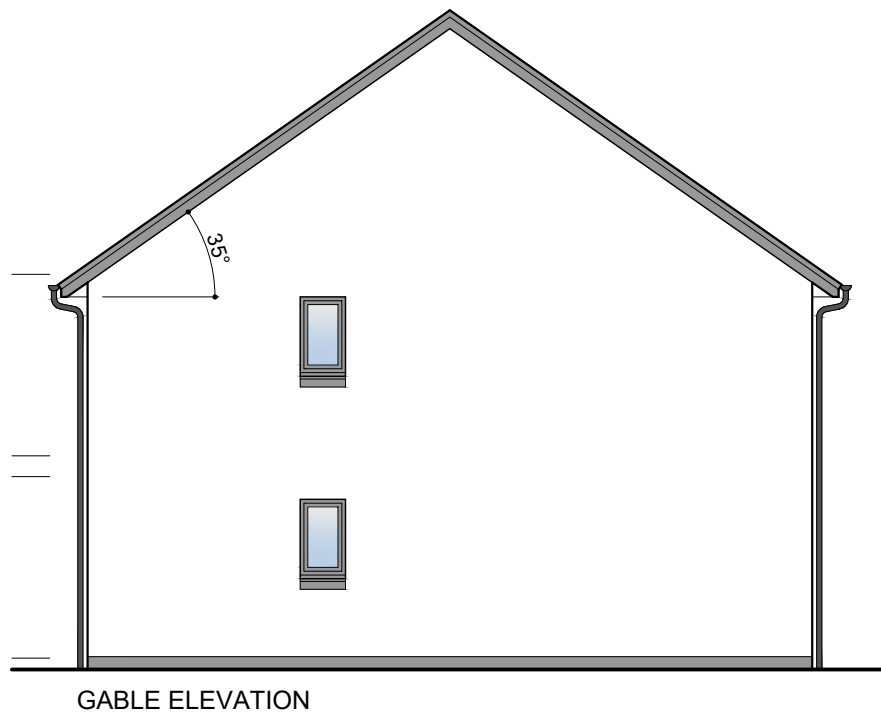
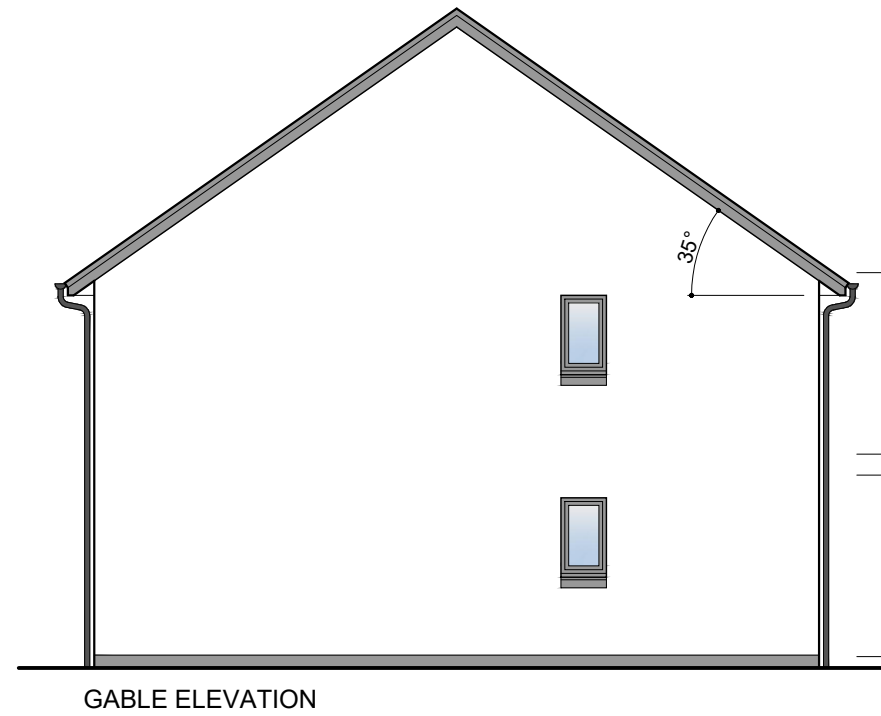
PLANS & SECTIONS - PLOTS 49 & 50

STATUS: **PLANNING**

SCALE:	1 : 100	DRAWN:	--
PAPER SIZE:	A3	DATE:	Jan 2018

DWG No.	3295-01-101	REV.	
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REV	DATE	DESCRIPTION	DRN

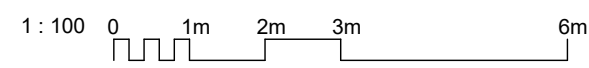
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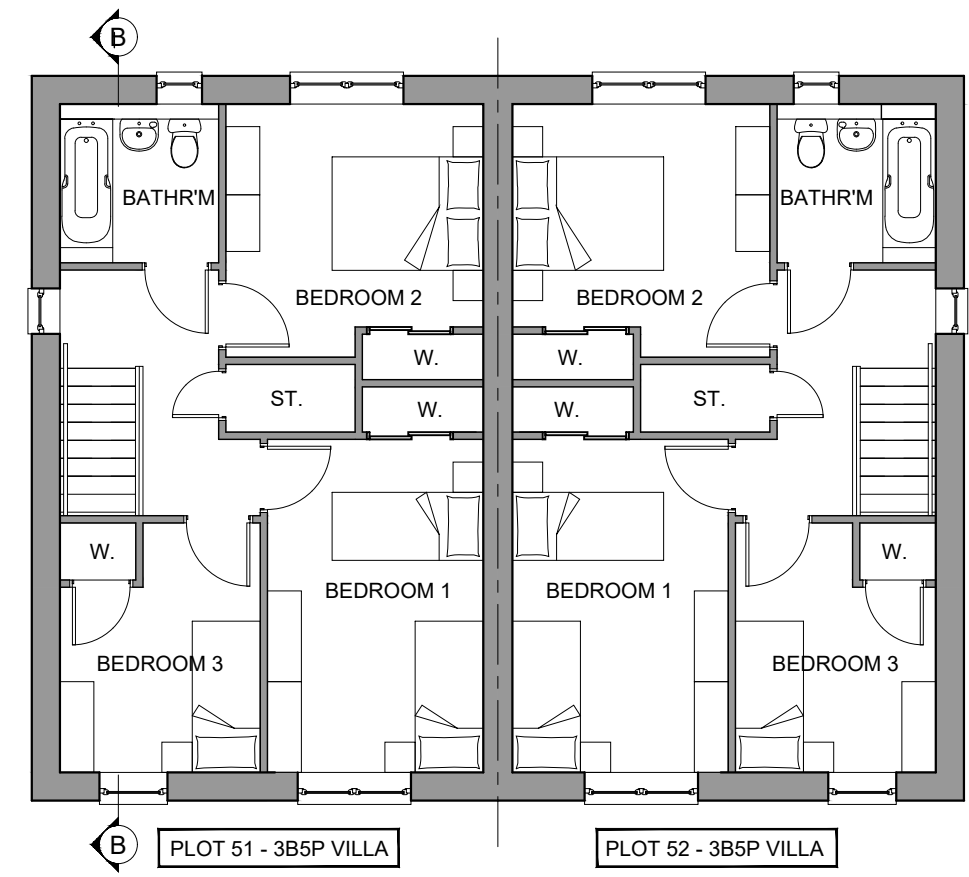
38 WALKER TERRACE, TILlicOLTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PERTH ROAD
 NEWTONMORE
 TULLOCH HOMES LTD

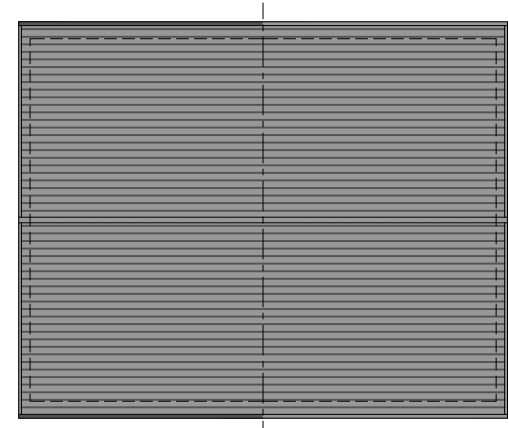
ELEVATIONS - PLOTS 51 & 52

STATUS:	PLANNING		
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PAPER SIZE:	A3	DATE:	Jan 2018
DWG No.	3295-01-104		REV.

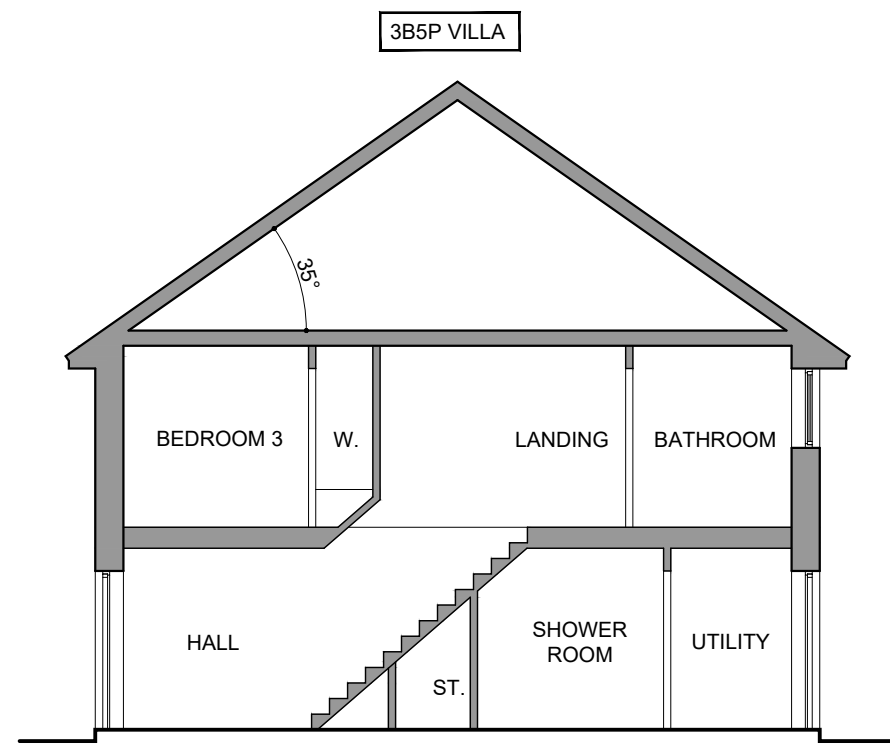




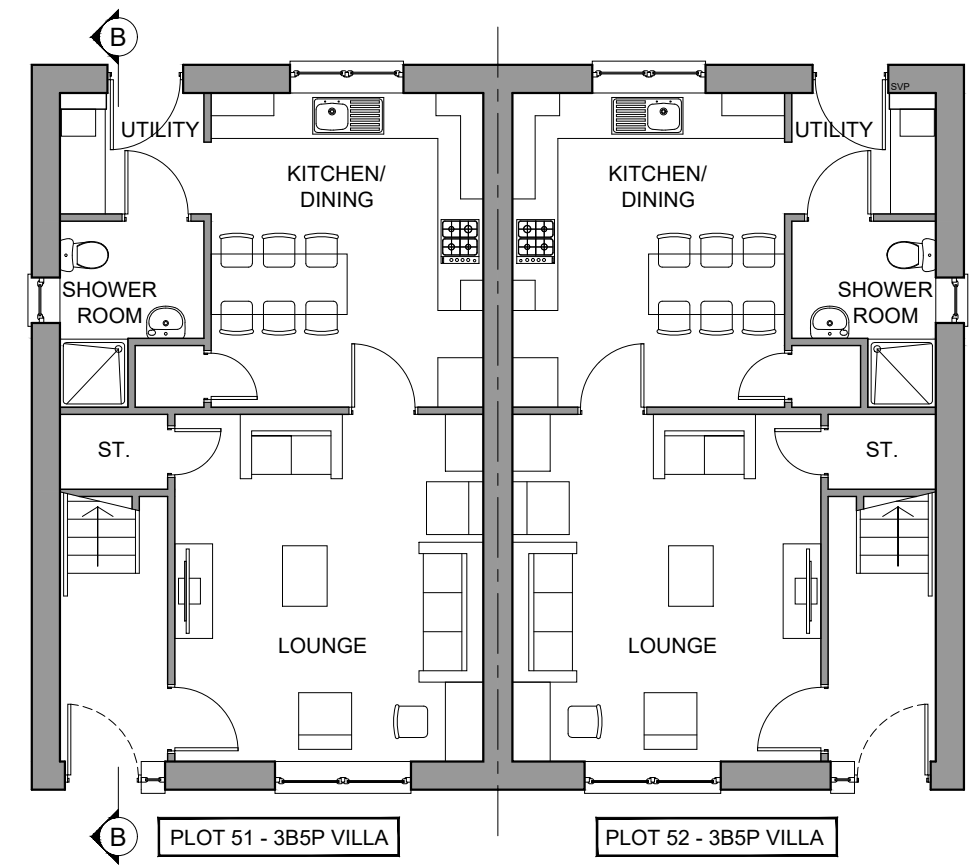
FIRST FLOOR PLAN



ROOF PLAN (1:200@A3)



SECTION BB



GROUND FLOOR PLAN

REV	DATE	DESCRIPTION	DRN

Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicOLTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

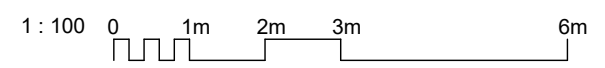
PERTH ROAD
 NEWTONMORE
 TULLOCH HOMES LTD

PLANS & SECTIONS - PLOTS 51 & 52

STATUS: **PLANNING**

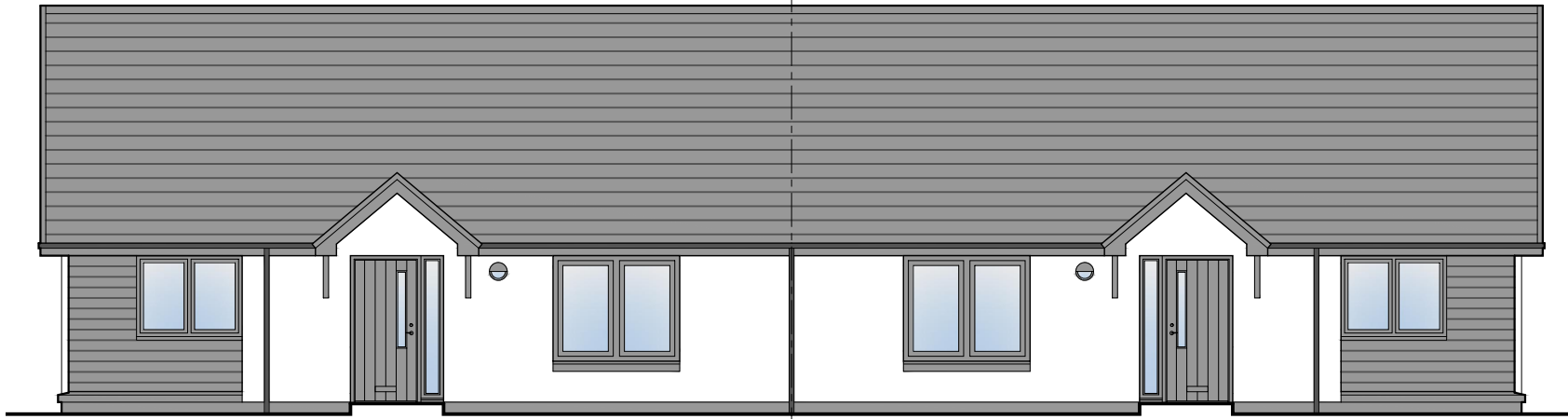
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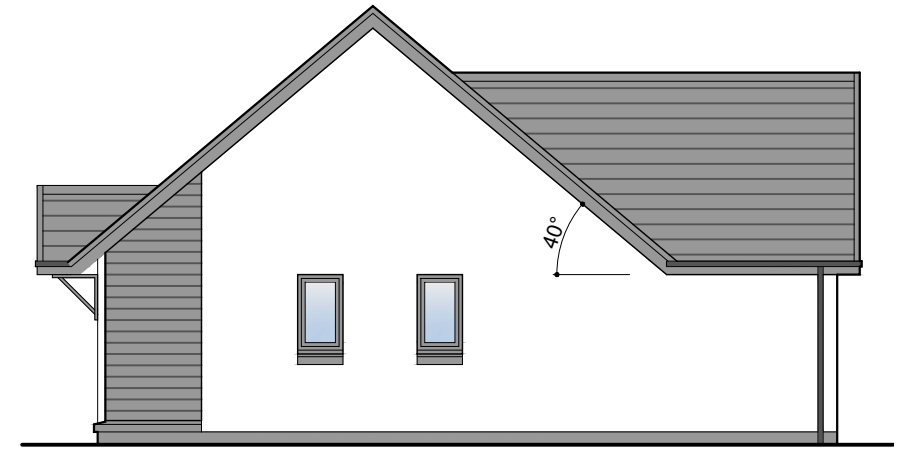


PLOT 53 - 2B4P
AMENITY BUNGALOW

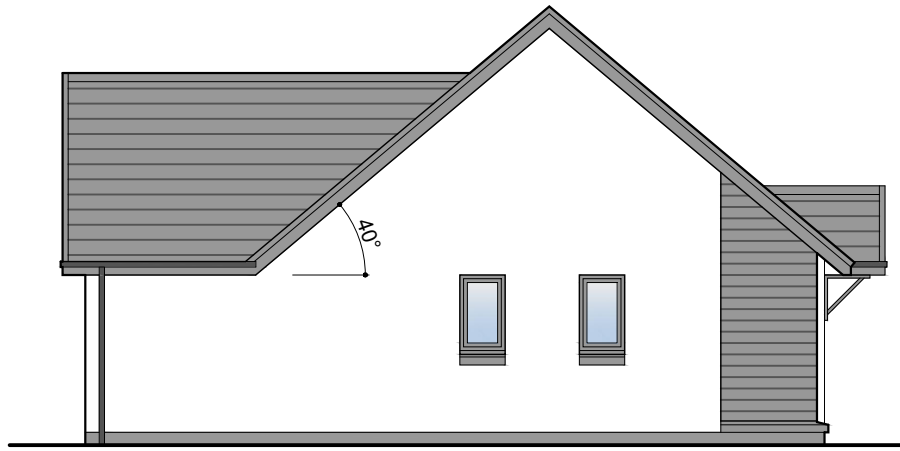
PLOT 54 - 2B4P
AMENITY BUNGALOW



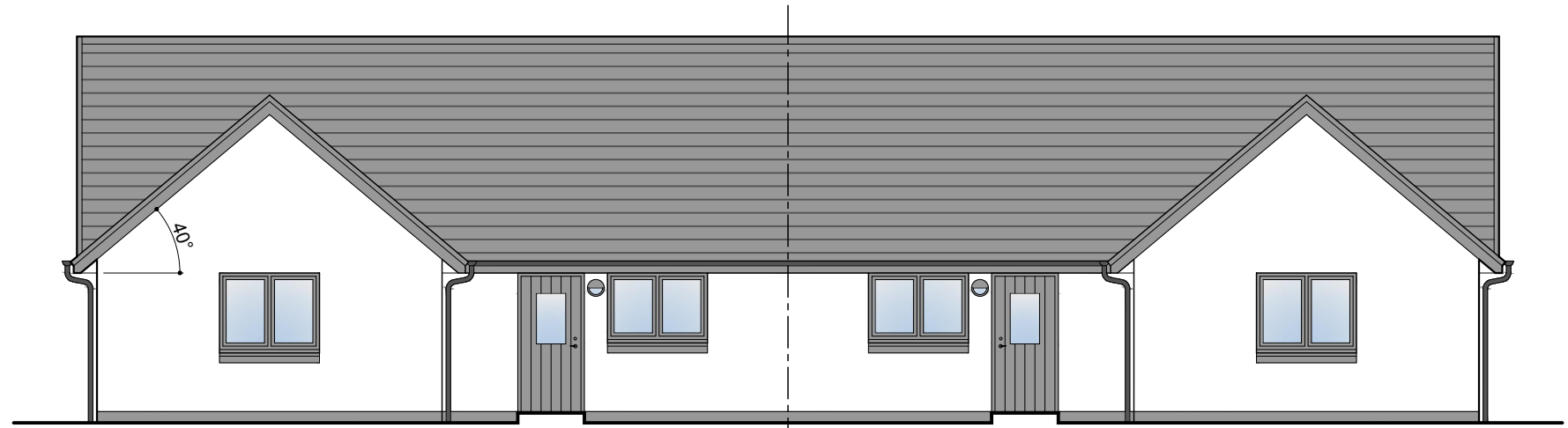
FRONT ELEVATION



SIDE ELEVATION



SIDE ELEVATION



REAR ELEVATION

REV	DATE	DESCRIPTION	DRN

Bracewell Stirling CONSULTING

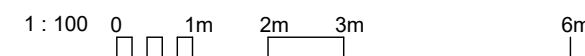
38 WALKER TERRACE, TILlicOLTRY, FK13 6EF 01259 750301
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 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

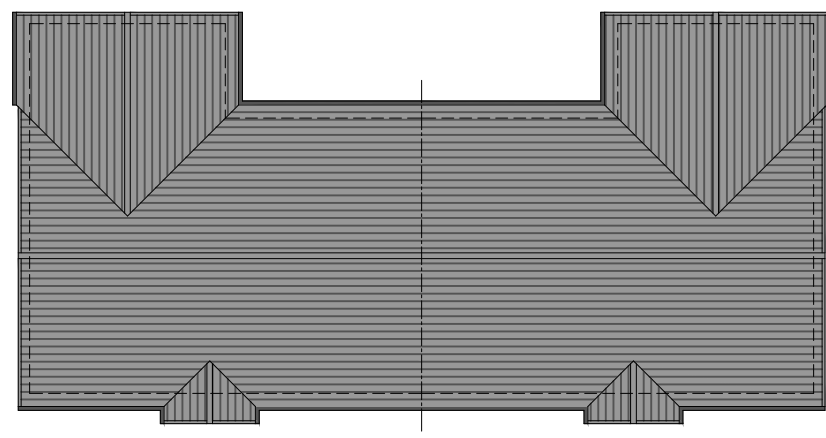
PERTH ROAD
 NEWTONMORE
 TULLOCH HOMES LTD
 ELEVATIONS - PLOTS 53 & 54

STATUS: **PLANNING**

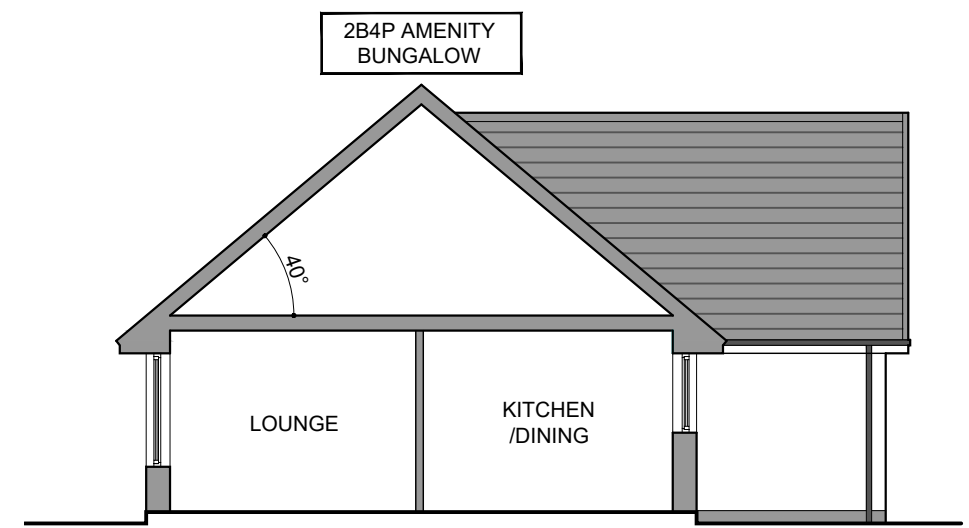
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DWG No. **3295-01-106** REV.

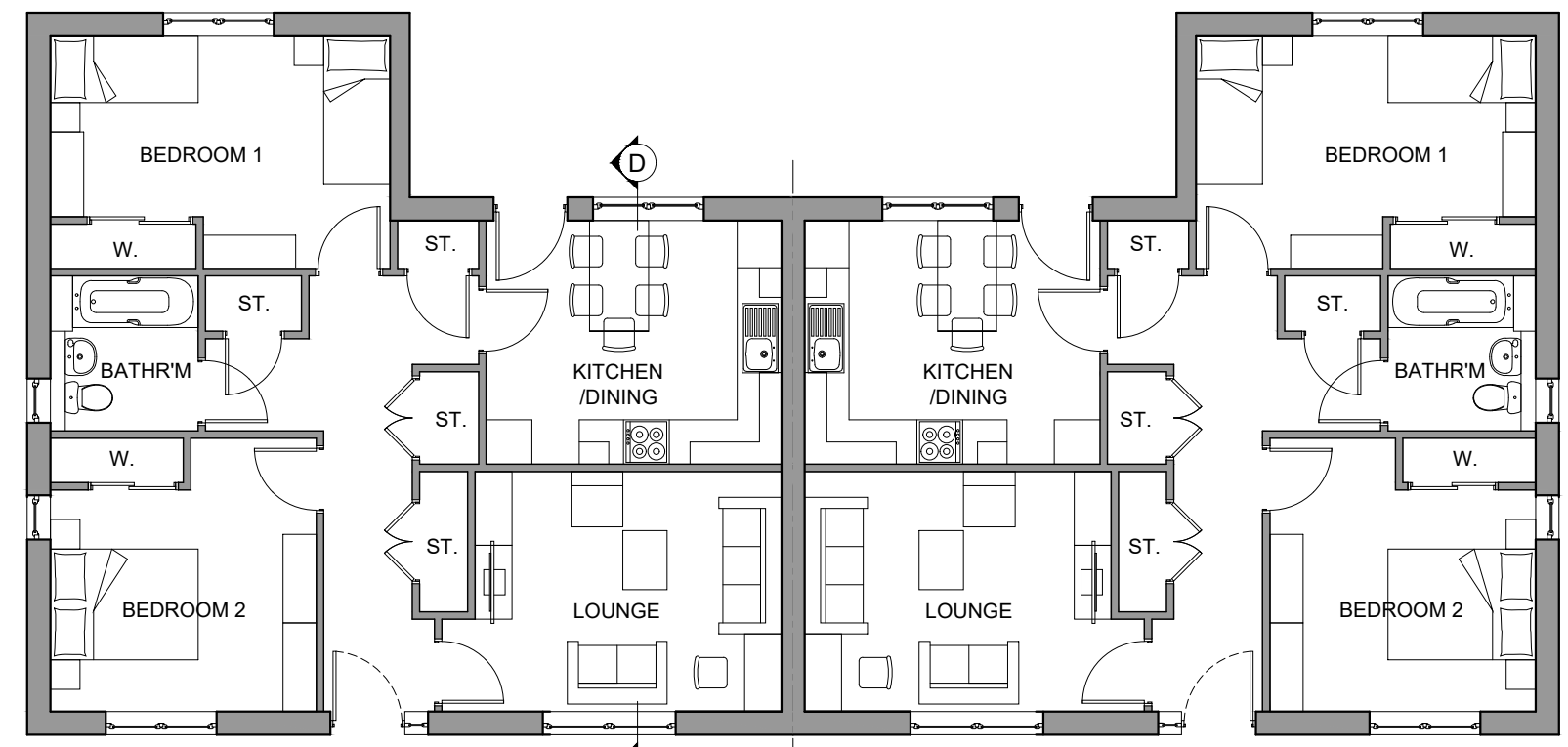




ROOF PLAN (1:200@A3)



SECTION DD



PLOT 53 - 2B4P AMENITY BUNGALOW

PLOT 54 - 2B4P AMENITY BUNGALOW

GROUND FLOOR PLAN

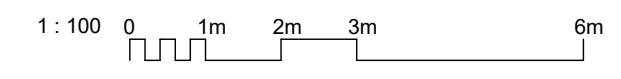
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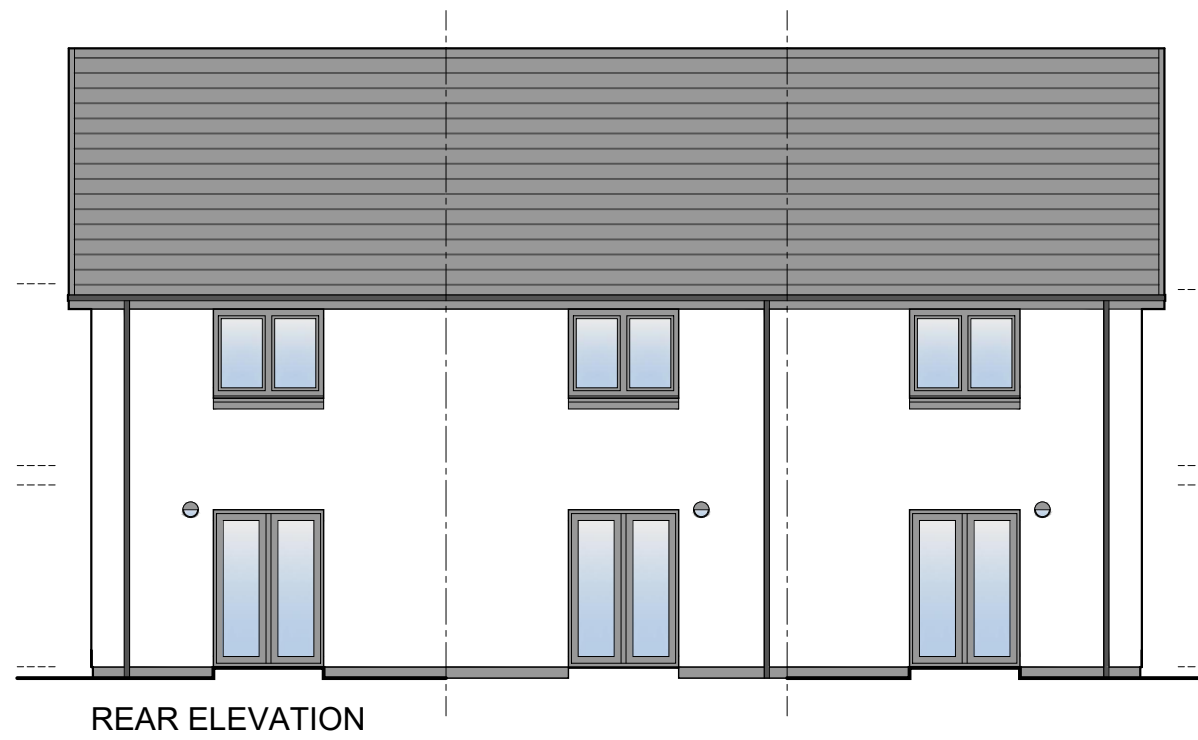
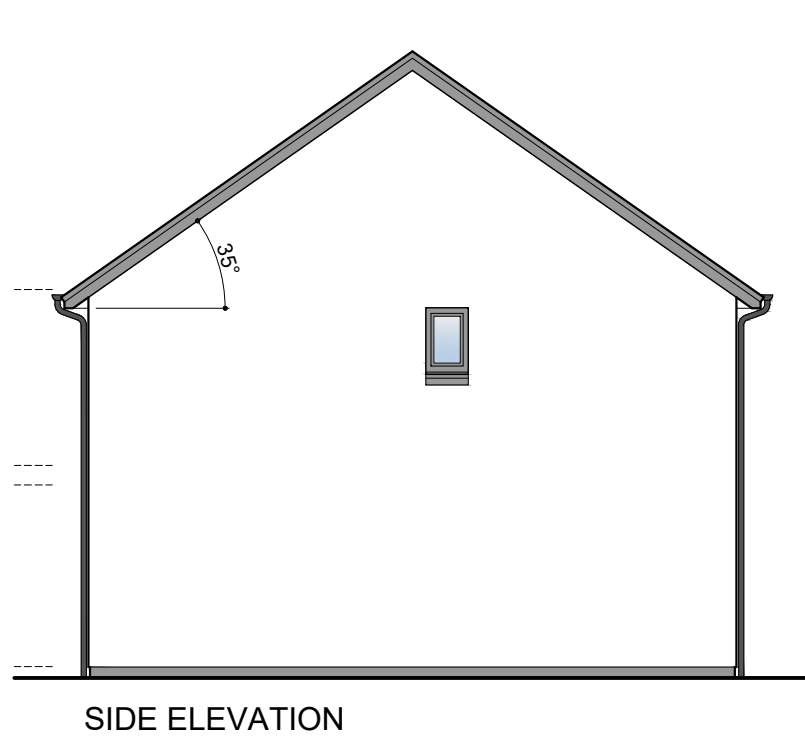
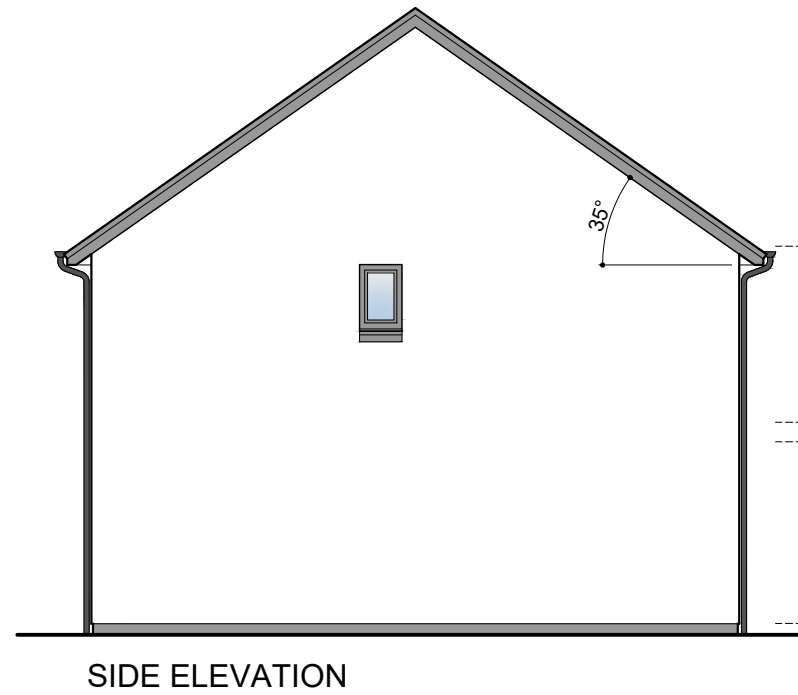
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38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PERTH ROAD
 NEWTONMORE
 TULLOCH HOMES LTD
 PLANS & SECTIONS - PLOTS 53 & 54

STATUS:	PLANNING		
SCALE:	1 : 100	DRAWN:	--
PAPER SIZE:	A3	DATE:	Jan 2018
DWG No.	3295-01-105		REV.





REV	DATE	DESCRIPTION	DRN

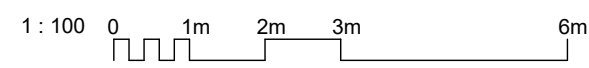
Bracewell Stirling CONSULTING

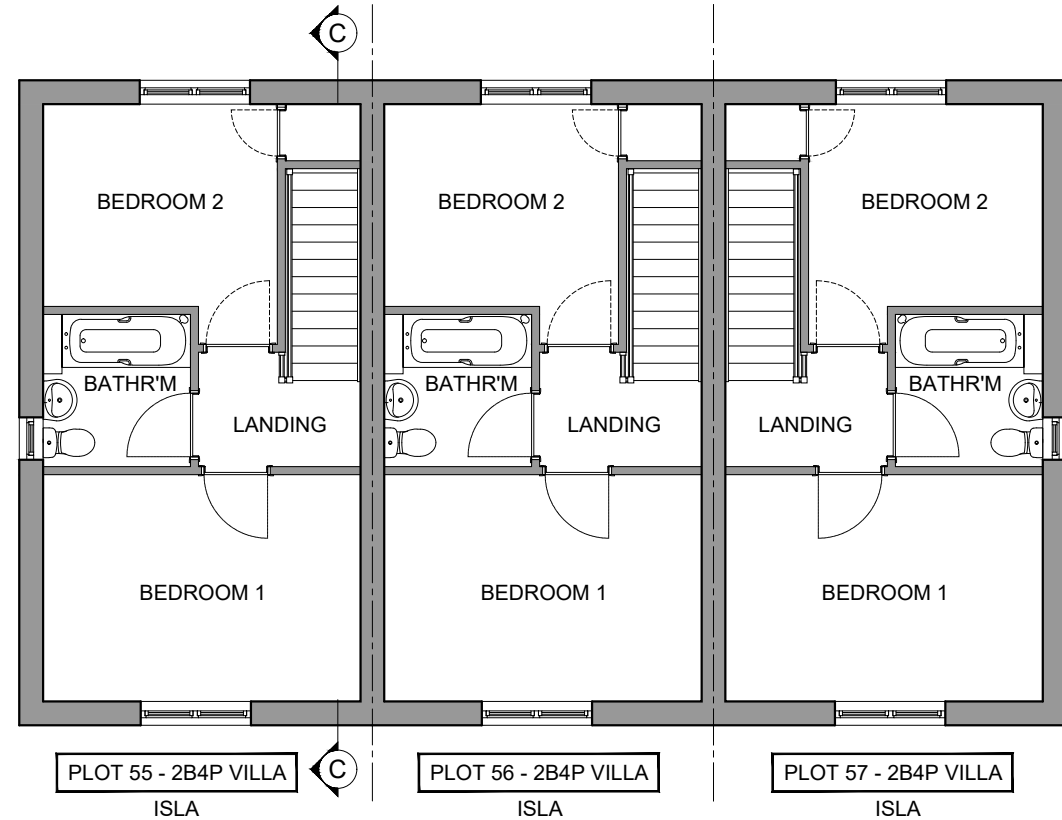
38 WALKER TERRACE, TILlicOLTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
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PERTH ROAD
 NEWTONMORE
 TULLOCH HOMES LTD

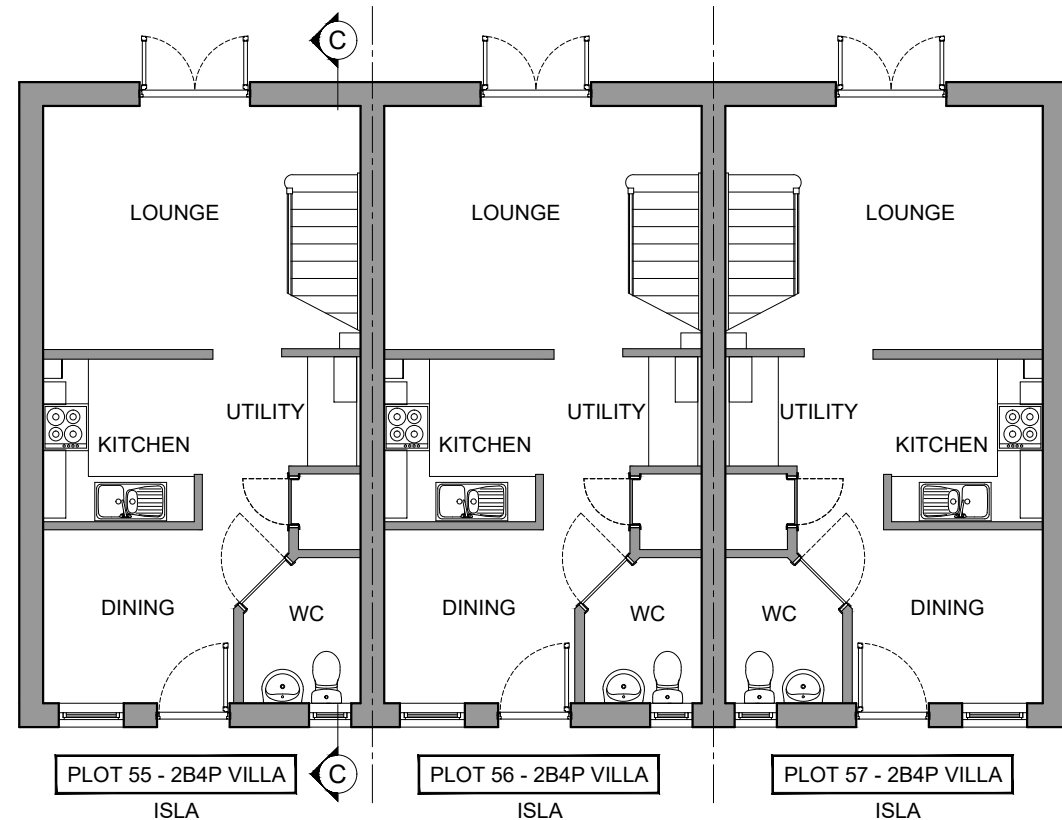
ELEVATIONS - PLOTS 55, 56 & 57

STATUS:	PLANNING		
SCALE:	1 : 100	DRAWN:	--
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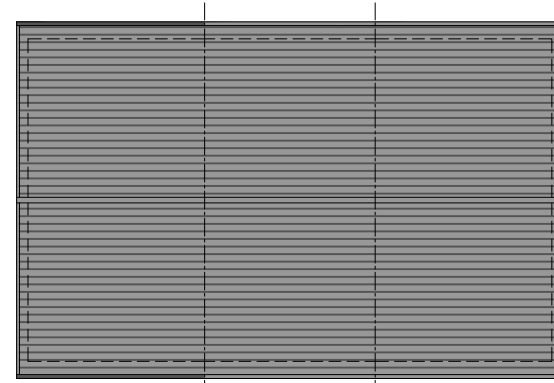




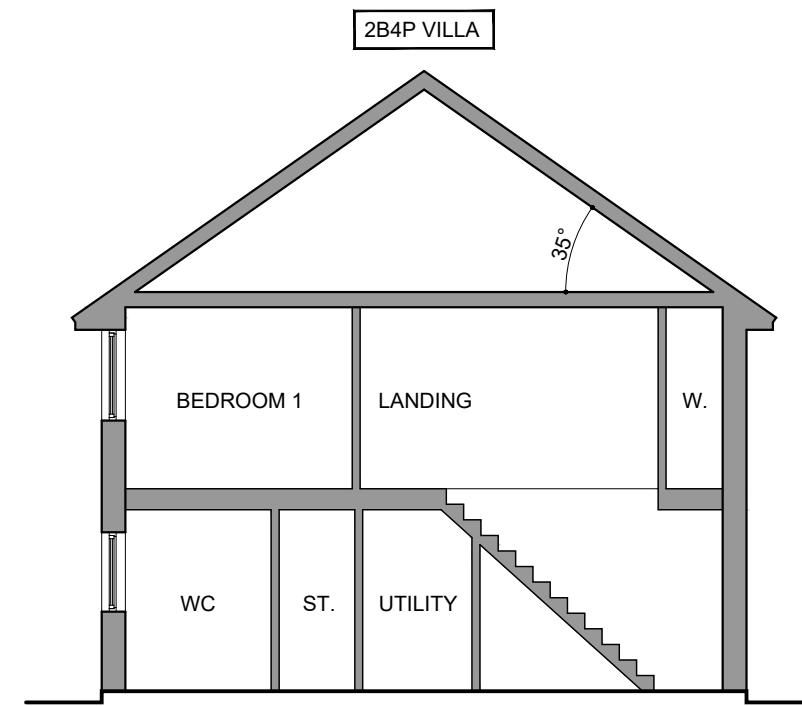
FIRST FLOOR PLAN



GROUND FLOOR PLAN



ROOF PLAN (1:200@A3)



SECTION CC

REV	DATE	DESCRIPTION	DRN

Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicouLTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

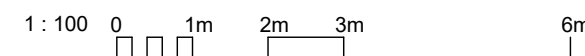
PERTH ROAD
 NEWTONMORE
 TULLOCH HOMES LTD

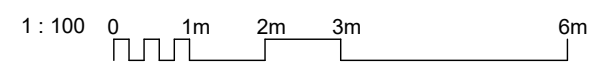
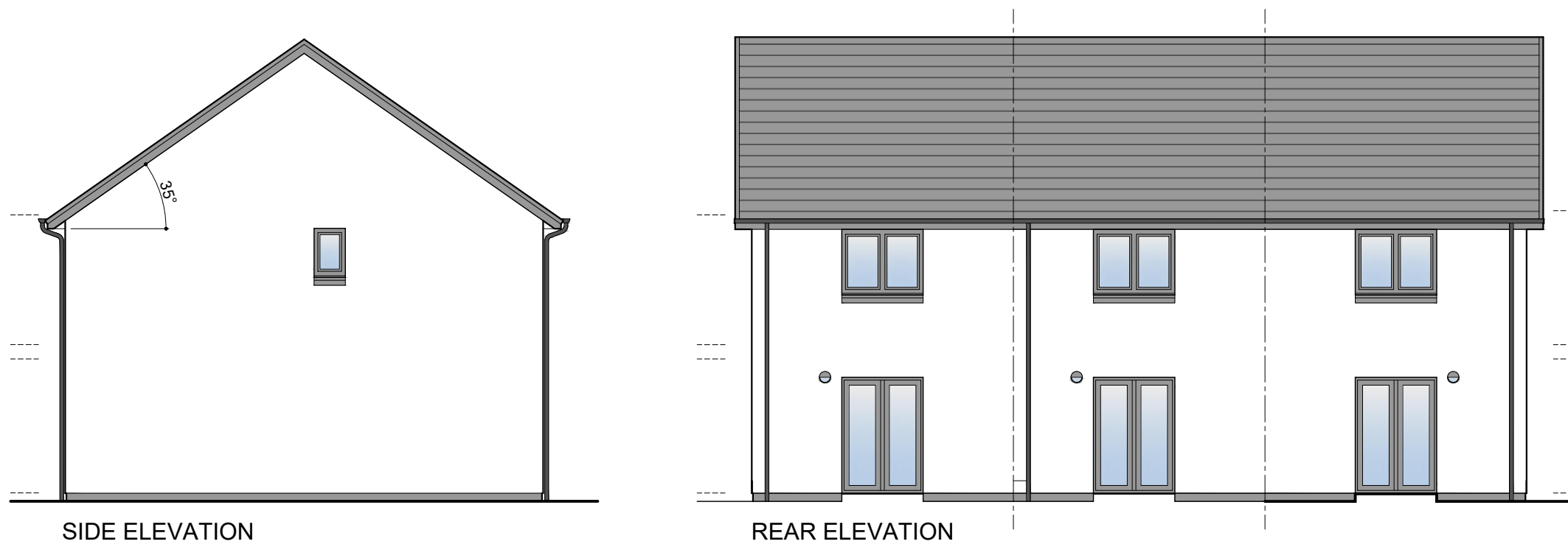
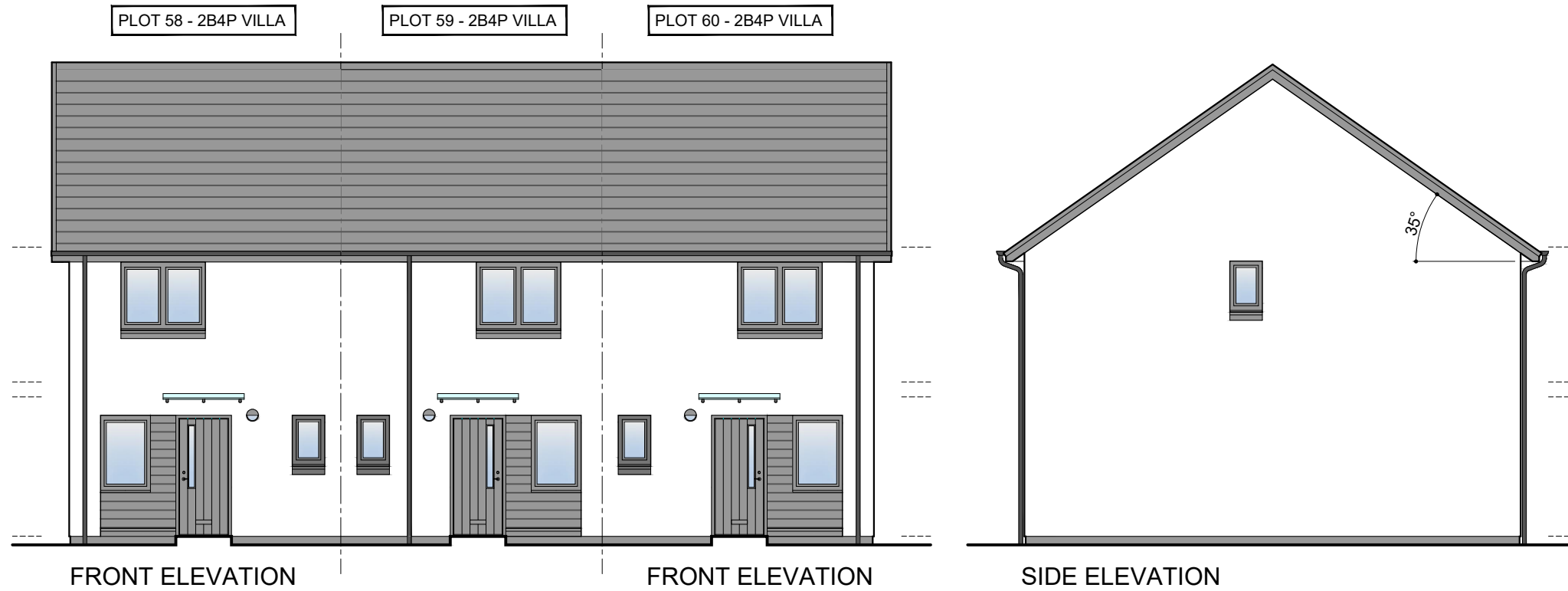
PLANS & SECTIONS - PLOTS 55, 56 & 57

STATUS: **PLANNING**

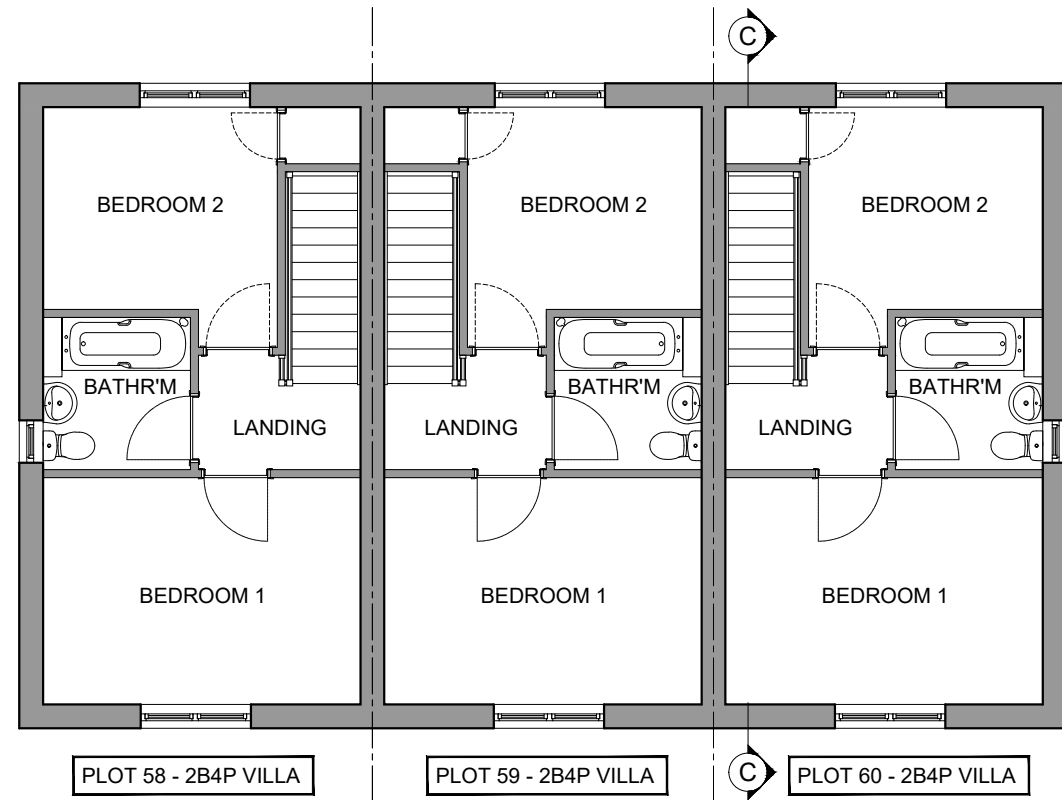
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 PAPER SIZE: A3 | DATE: Jan 2018

DWG No. **3295-01-107** | REV.

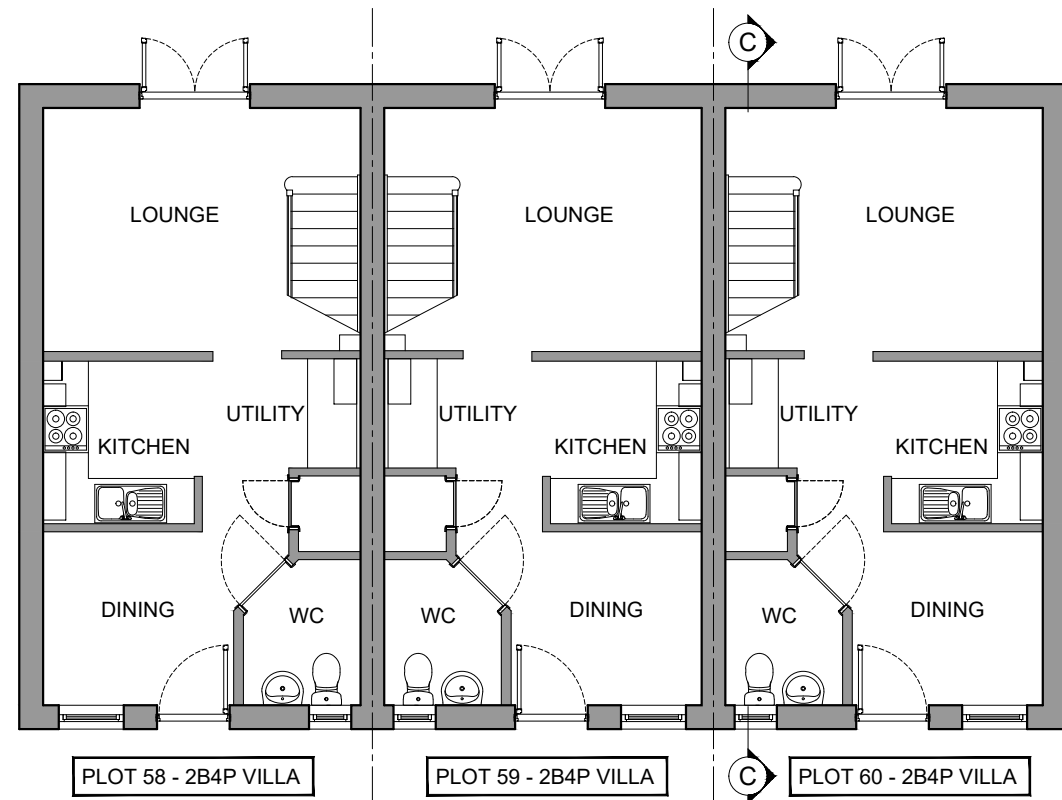




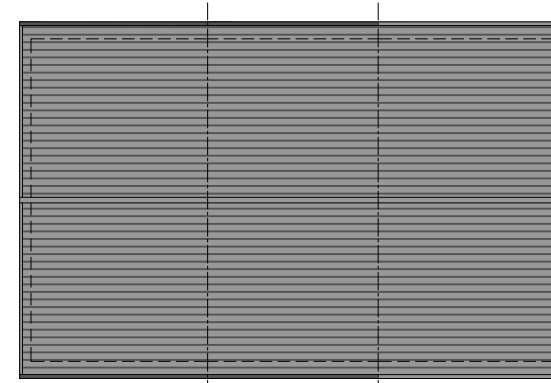
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38 WALKER TERRACE, TILlicouLTRY, FK13 6EF		01259 750301	
5 NESS BANK, INVERNESS, IV2 4SF		01463 233760	
15 LOCHSIDE STREET, OBAN, PA34 4HP		01631 359054	
PERTH ROAD NEWTONMORE TULLOCH HOMES LTD			
ELEVATIONS - PLOTS 58, 59 & 60			
STATUS: PLANNING			
SCALE: 1 : 100		DRAWN: --	
PAPER SIZE: A3		DATE: Jan 2018	
DWG No. 3295-01-110		REV.	



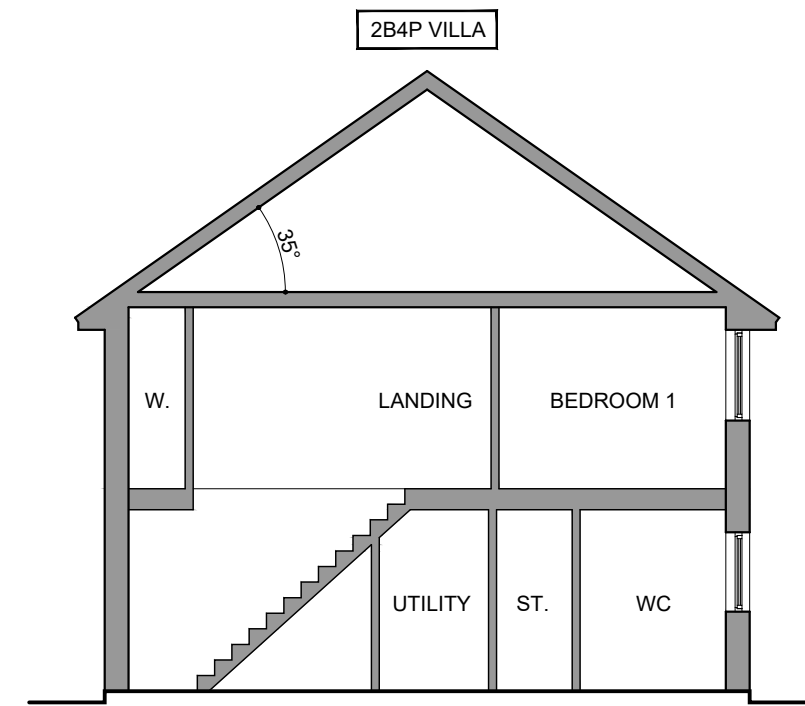
FIRST FLOOR PLAN



GROUND FLOOR PLAN



ROOF PLAN (1:200@A3)



REV	DATE	DESCRIPTION	DRN

Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicouLTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

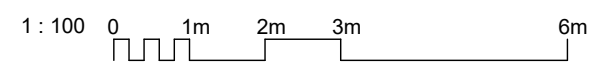
PERTH ROAD
 NEWTONMORE
 TULLOCH HOMES LTD

PLANS & SECTIONS - PLOTS 58, 59 & 60

STATUS: **PLANNING**

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 PAPER SIZE: A3 DATE: Jan 2018

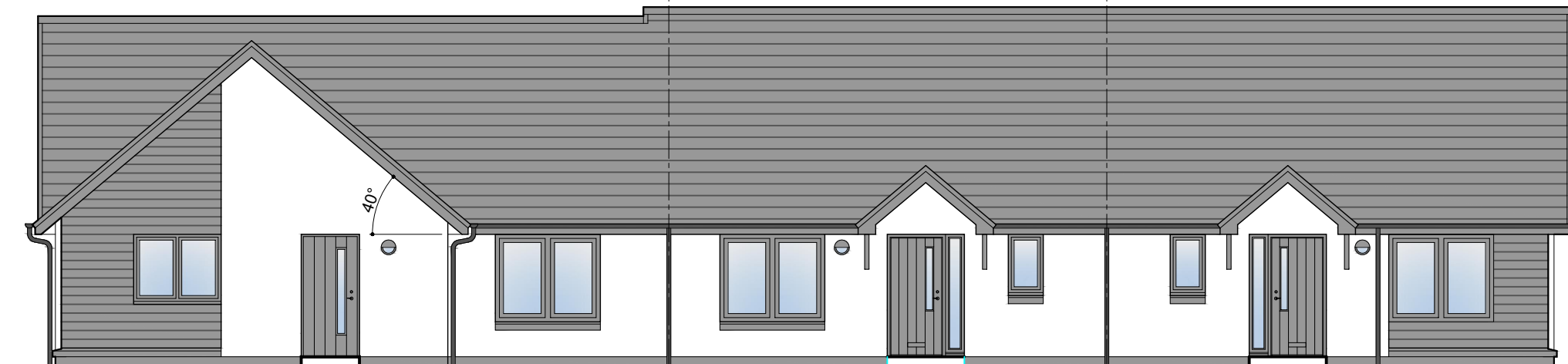
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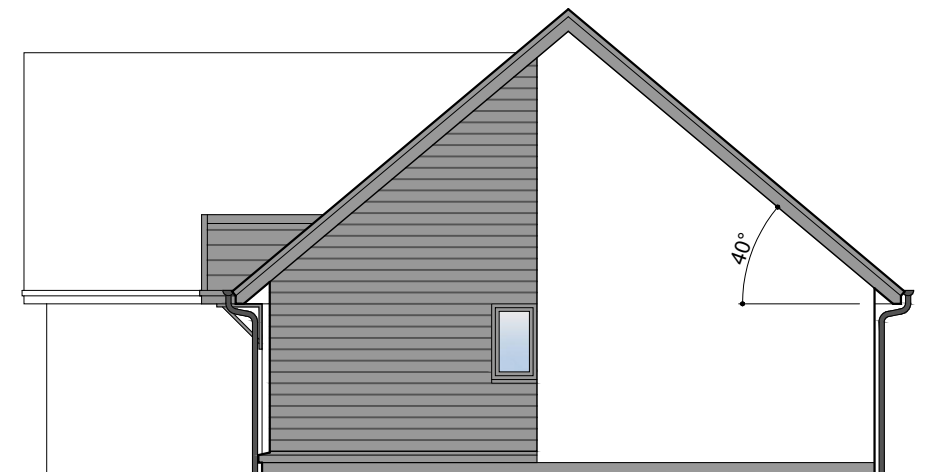
PLOT 61 - 2B4P
WHEELCHAIR BUNGALOW

PLOT 62 - 1B2P
AMENITY BUNGALOW

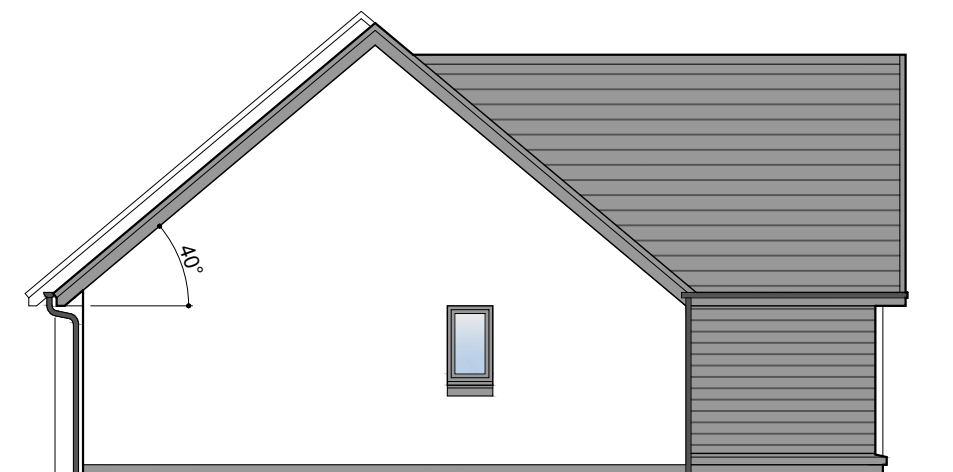
PLOT 63 - 1B2P
AMENITY BUNGALOW



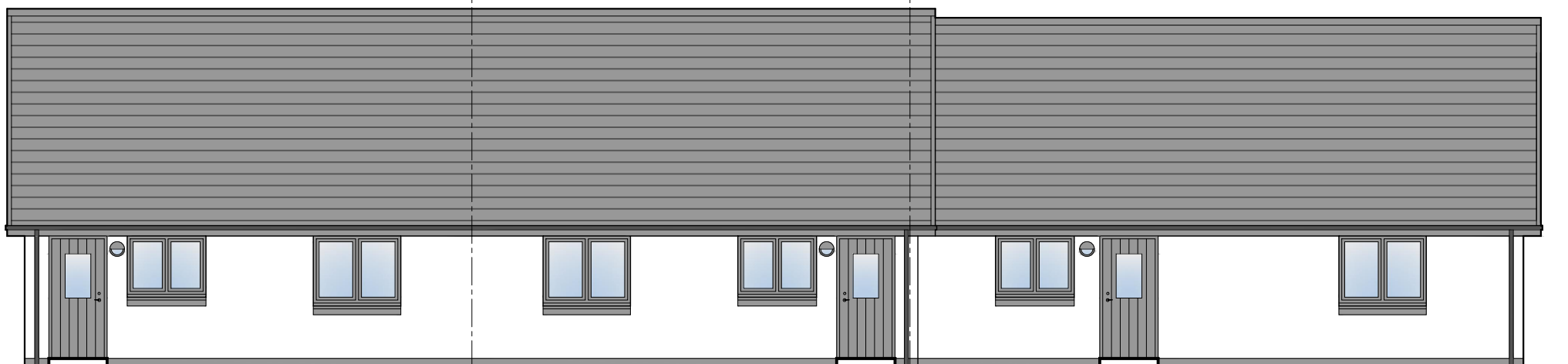
FRONT ELEVATION



SIDE ELEVATION



SIDE ELEVATION



REAR ELEVATION

REV	DATE	DESCRIPTION	DRN

Bracewell Stirling CONSULTING

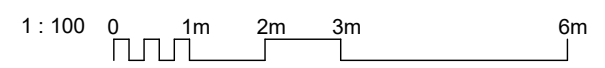
38 WALKER TERRACE, TILlicouLTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

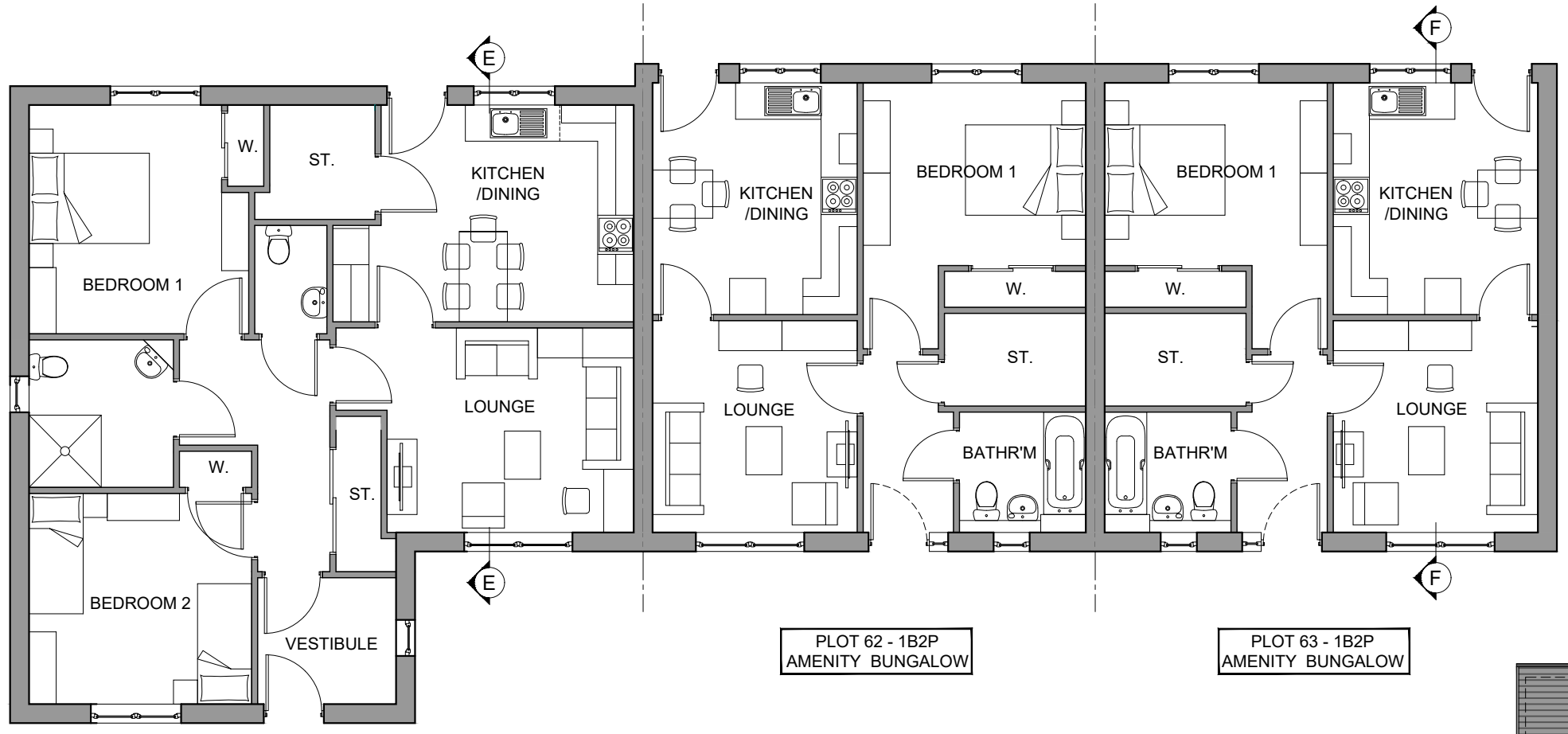
PERTH ROAD
 NEWTONMORE
 TULLOCH HOMES LTD
 ELEVATIONS - PLOTS 61, 62 & 63

STATUS: **PLANNING**

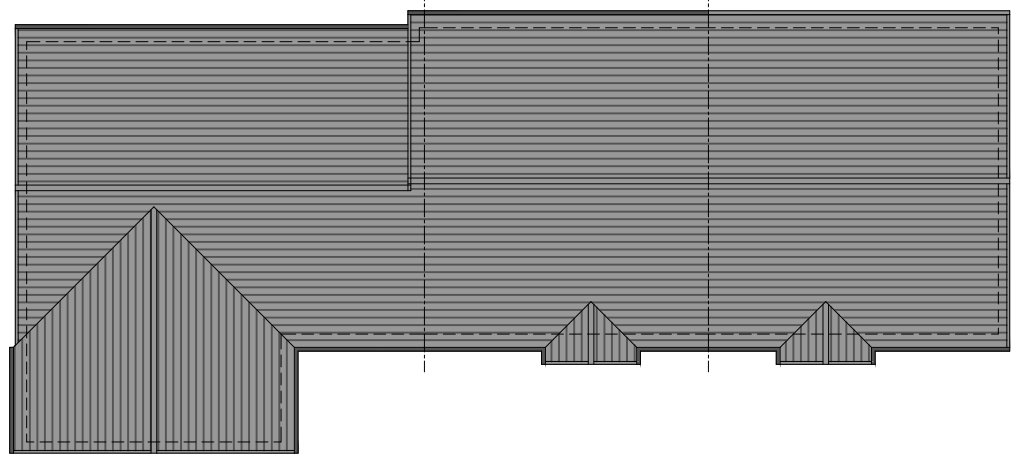
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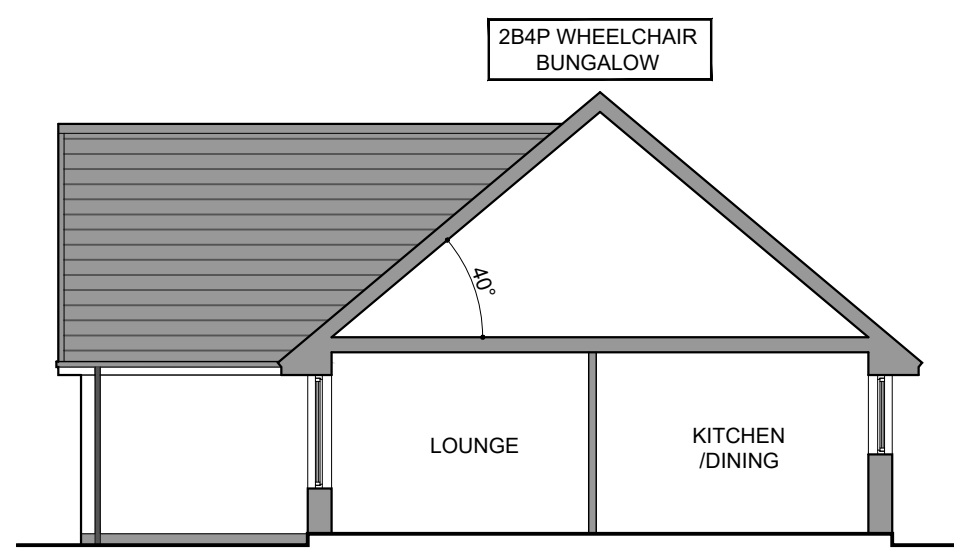




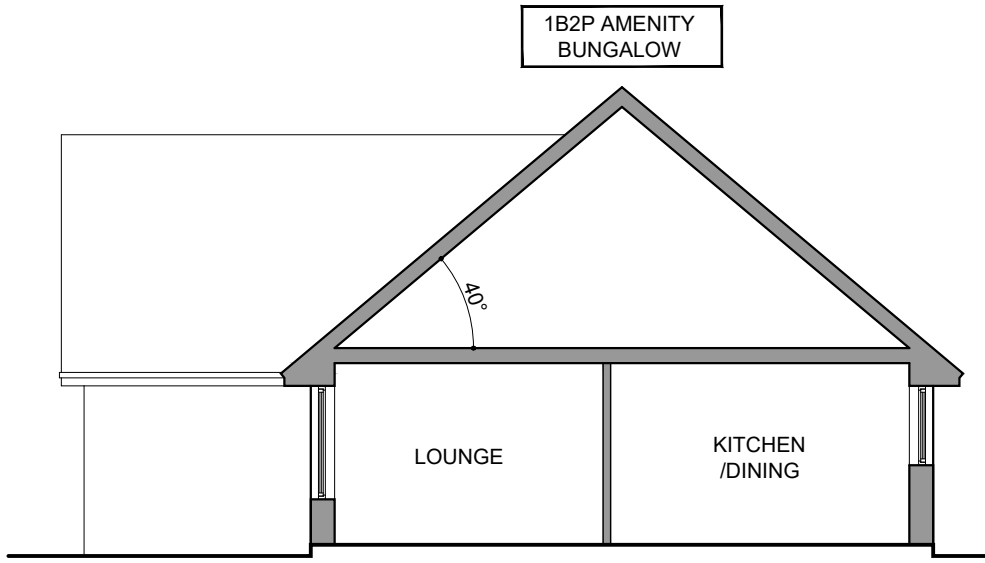
GROUND FLOOR PLAN



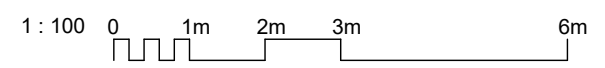
ROOF PLAN (1:200@A3)



SECTION EE



SECTION FF



REV	DATE	DESCRIPTION	DRN

Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PERTH ROAD
 NEWTONMORE
 TULLOCH HOMES LTD

PLANS & SECTIONS - PLOTS 61, 62 & 63

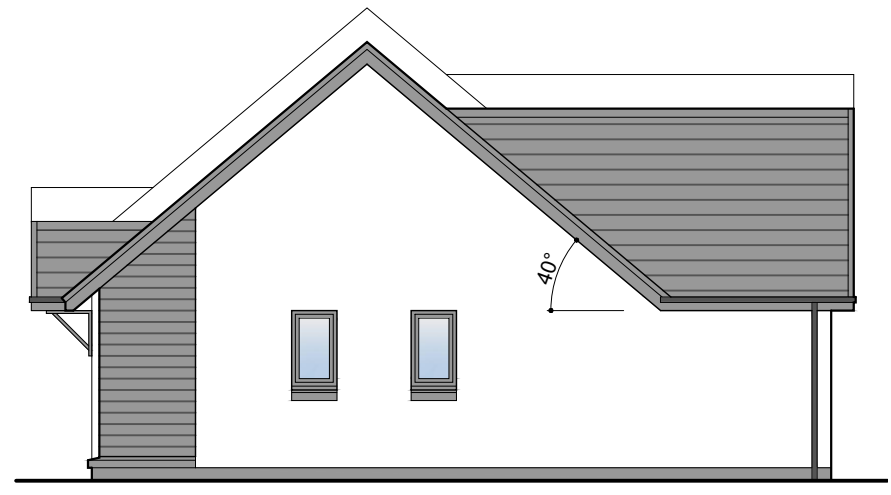
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PAPER SIZE:	A3	DATE:	Jan 2018
DWG No.	3295-01-111		REV.

PLOT 64 - 2B4P
AMENITY BUNGALOW

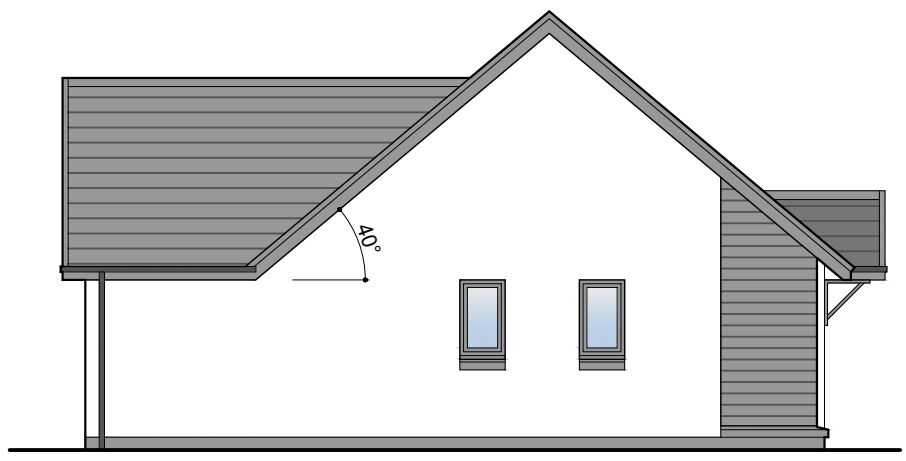
PLOT 65 - 2B4P
AMENITY BUNGALOW



FRONT ELEVATION



SIDE ELEVATION



SIDE ELEVATION



REAR ELEVATION

REV	DATE	DESCRIPTION	DRN

Bracewell Stirling CONSULTING

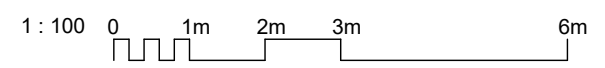
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

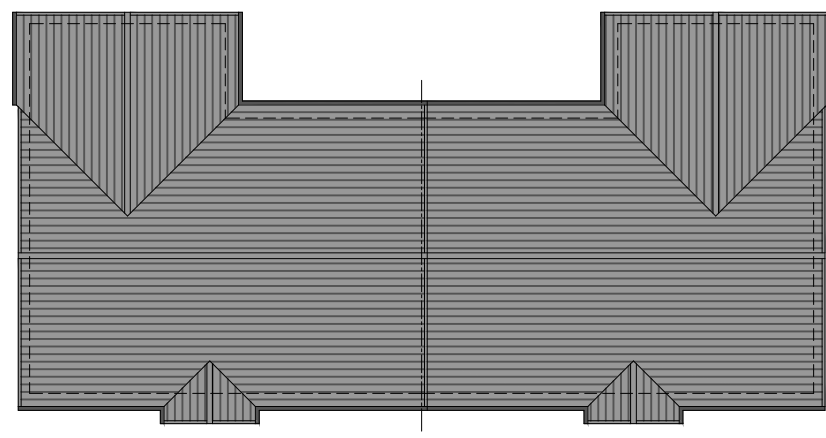
PERTH ROAD
 NEWTONMORE
 TULLOCH HOMES LTD
 ELEVATIONS - PLOTS 64 & 65

STATUS: **PLANNING**

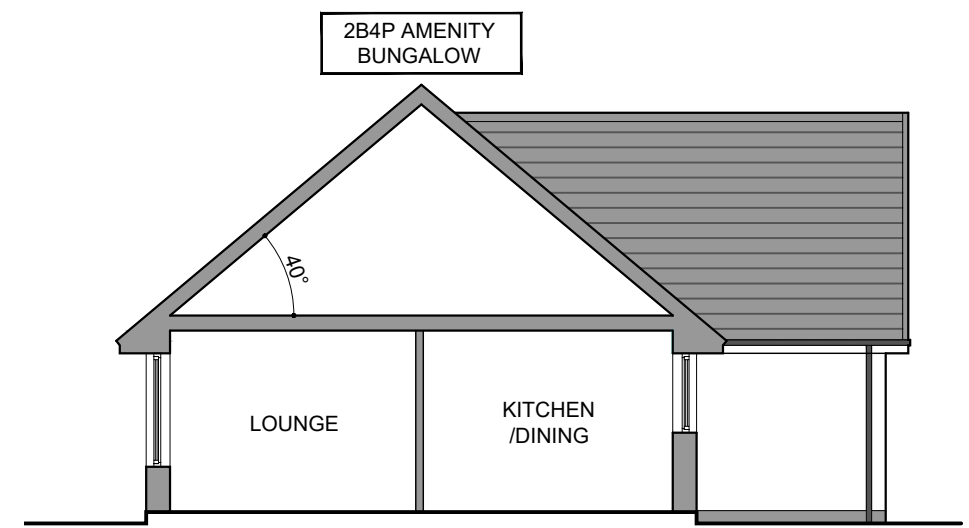
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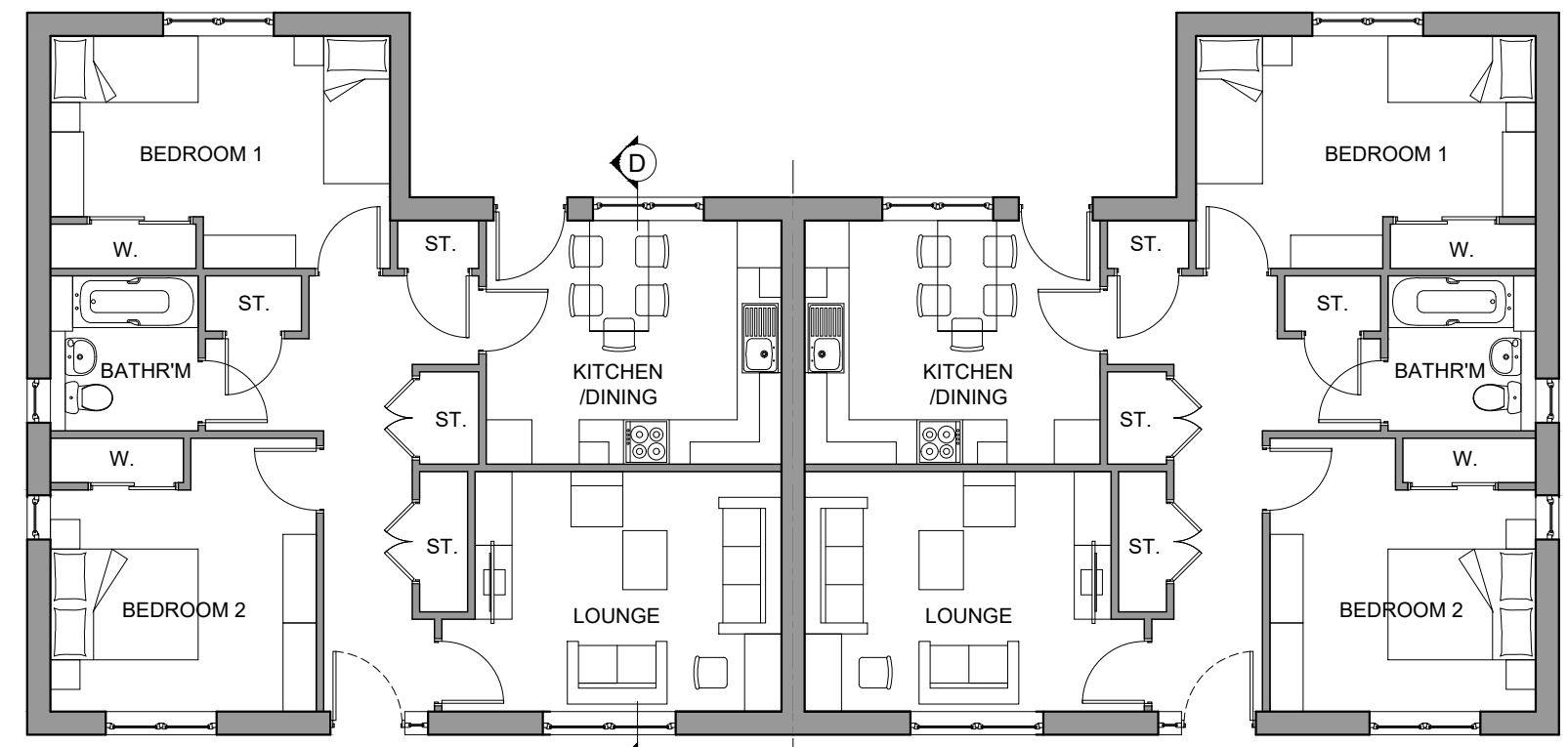




ROOF PLAN (1:200@A3)



SECTION DD



PLOT 64 - 2B4P AMENITY BUNGALOW

PLOT 65 - 2B4P AMENITY BUNGALOW

GROUND FLOOR PLAN

REV	DATE	DESCRIPTION	DRN

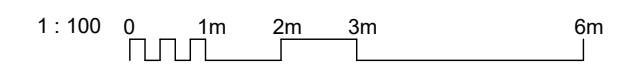
Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PERTH ROAD
 NEWTONMORE
 TULLOCH HOMES LTD

PLANS & SECTIONS - PLOTS 64 & 65

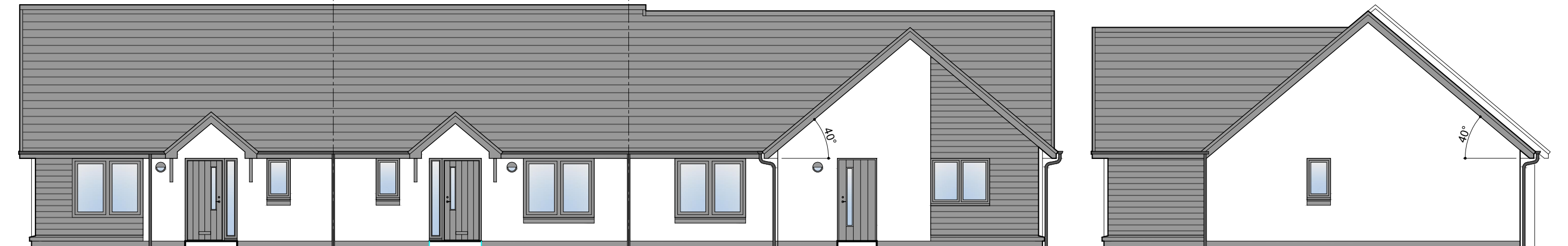
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PAPER SIZE:	A3	DATE:	Jan 2018
DWG No.	3295-01-113		REV.



PLOT 66 - 1B2P
AMENITY BUNGALOW

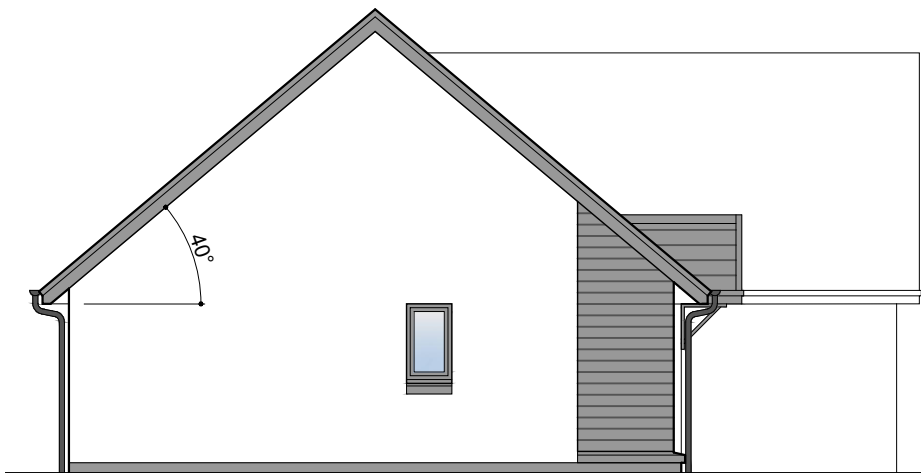
PLOT 67 - 1B2P
AMENITY BUNGALOW

PLOT 68 - 2B4P
WHEELCHAIR BUNGALOW

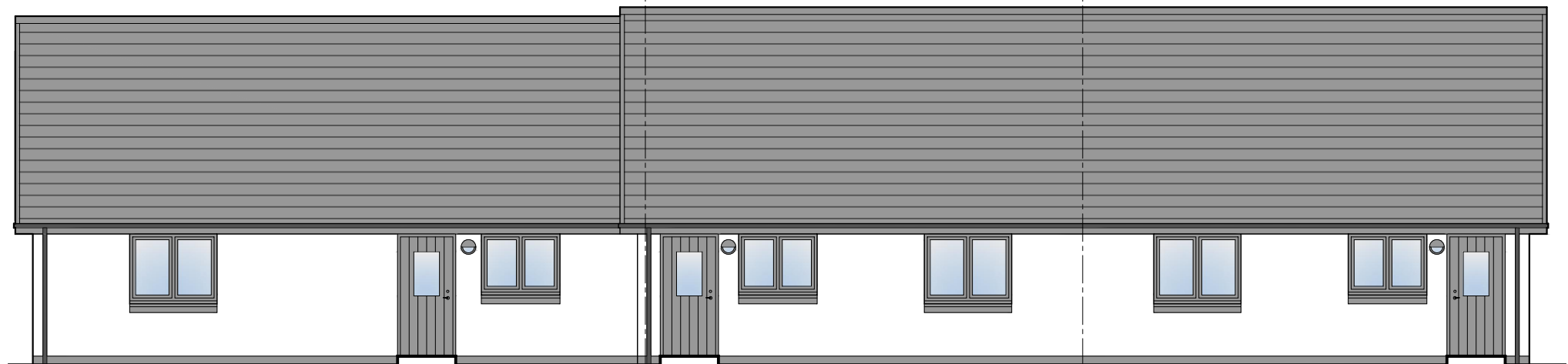


FRONT ELEVATION

SIDE ELEVATION



SIDE ELEVATION



REAR ELEVATION

REV	DATE	DESCRIPTION	DRN

Bracewell Stirling CONSULTING

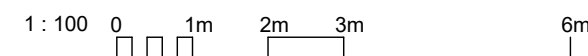
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 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

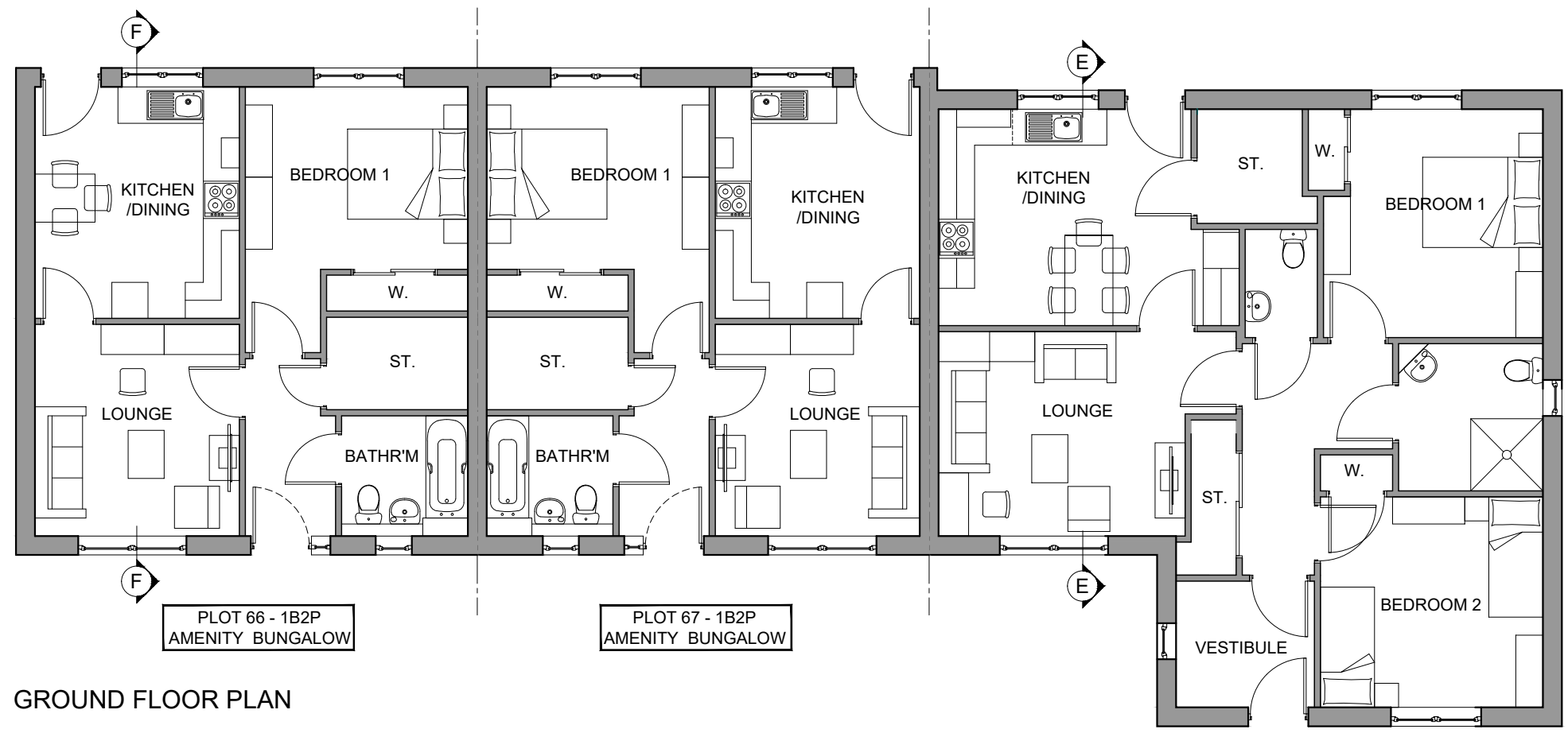
PERTH ROAD
 NEWTONMORE
 TULLOCH HOMES LTD
 ELEVATIONS - PLOTS 66, 67 & 68

STATUS: **PLANNING**

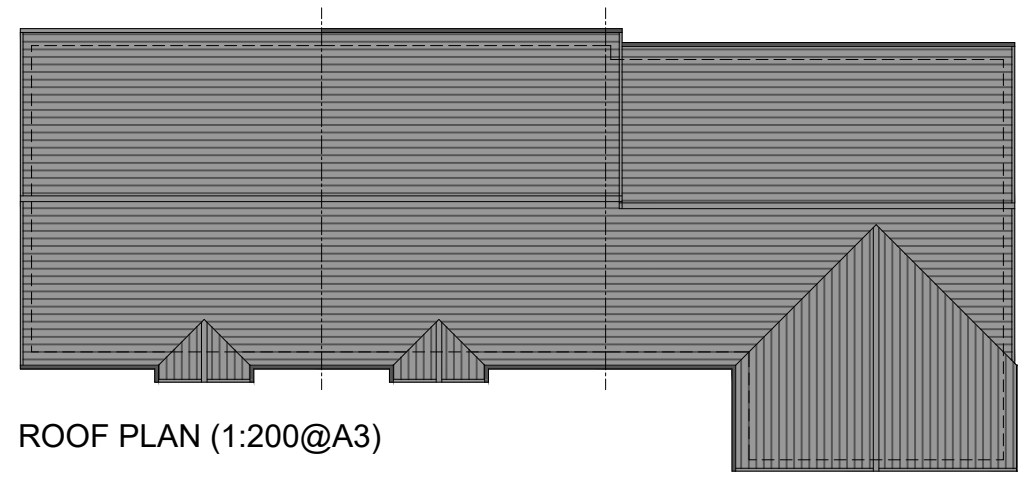
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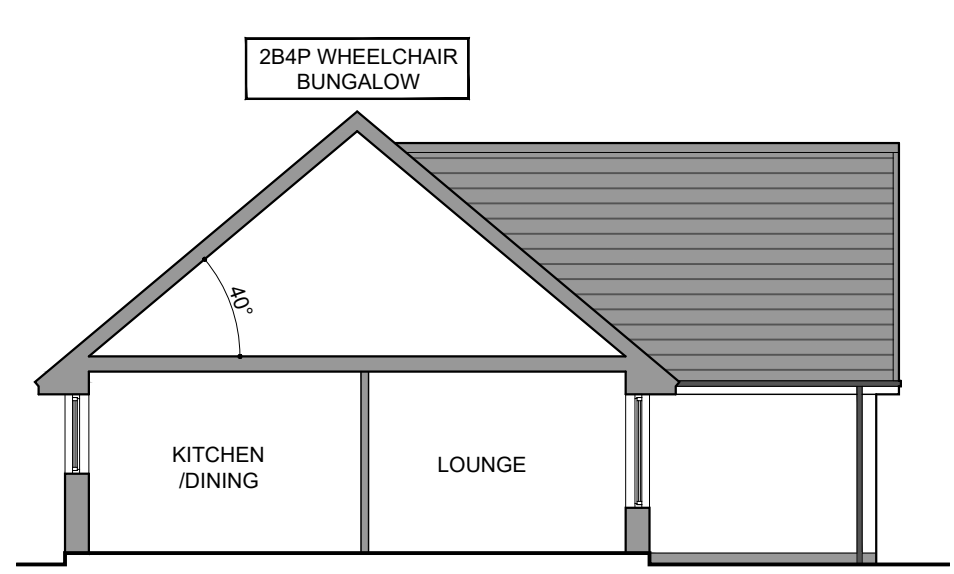




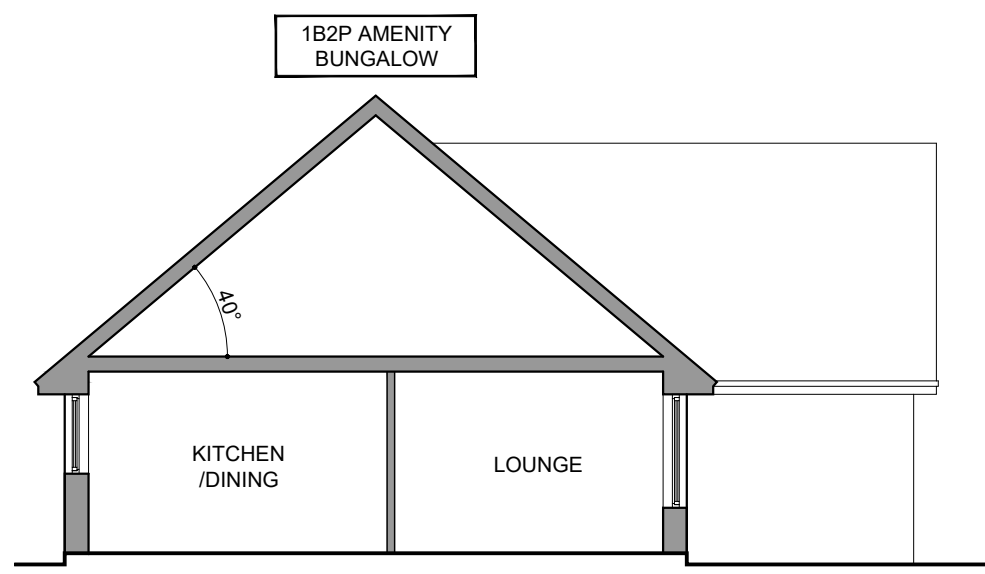
GROUND FLOOR PLAN



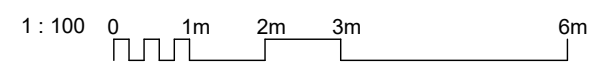
ROOF PLAN (1:200@A3)



SECTION EE



SECTION FF



REV	DATE	DESCRIPTION	DRN
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Bracewell Stirling CONSULTING

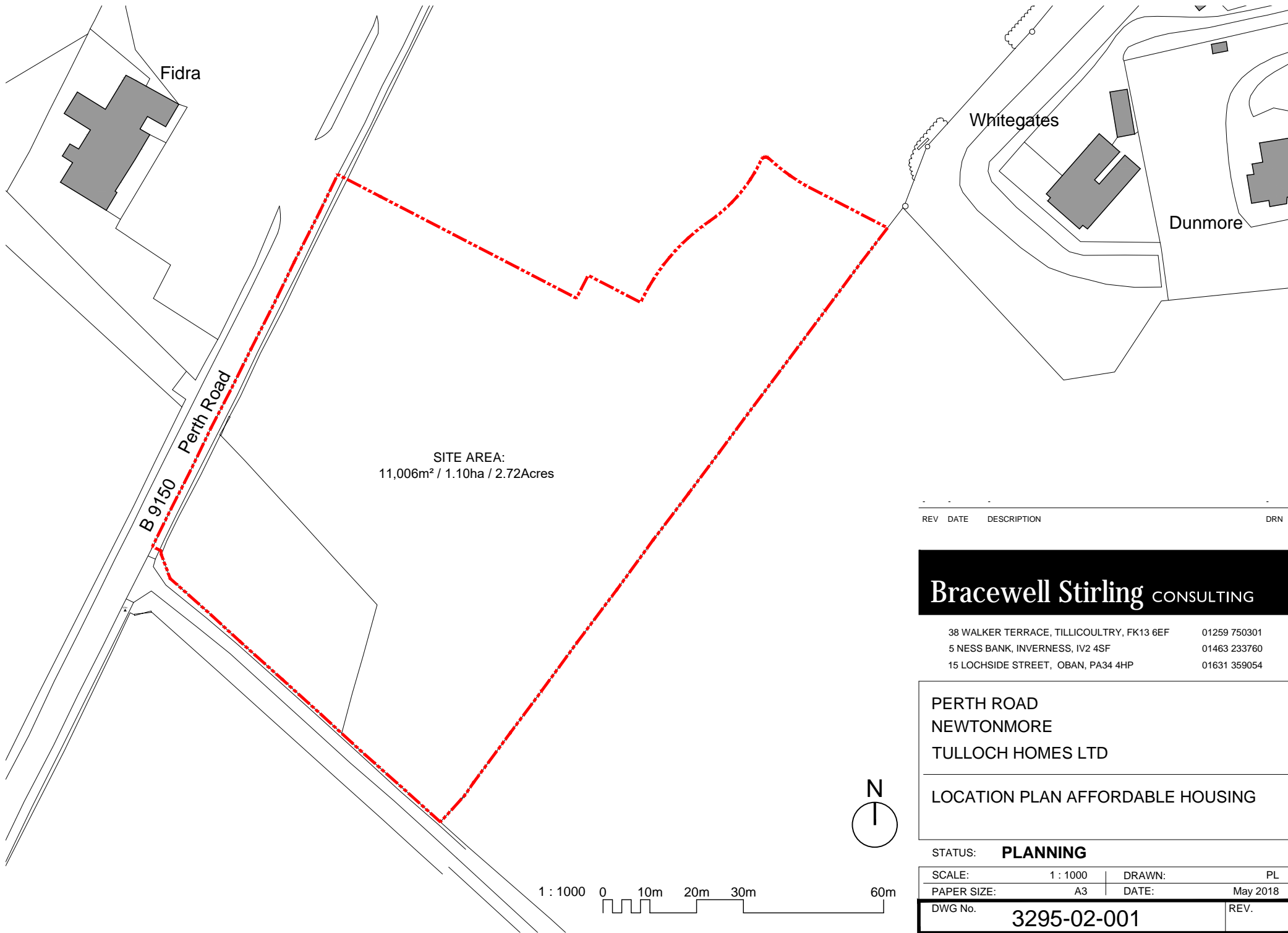
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PERTH ROAD
 NEWTONMORE
 TULLOCH HOMES LTD

PLANS & SECTIONS - PLOTS 66, 67 & 68

STATUS: **PLANNING**

SCALE: 1:100	DRAWN: --
PAPER SIZE: A3	DATE: Jan 2018
DWG No. 3295-01-115	REV.



SITE AREA:
11,006m² / 1.10ha / 2.72Acres

REV	DATE	DESCRIPTION	DRN
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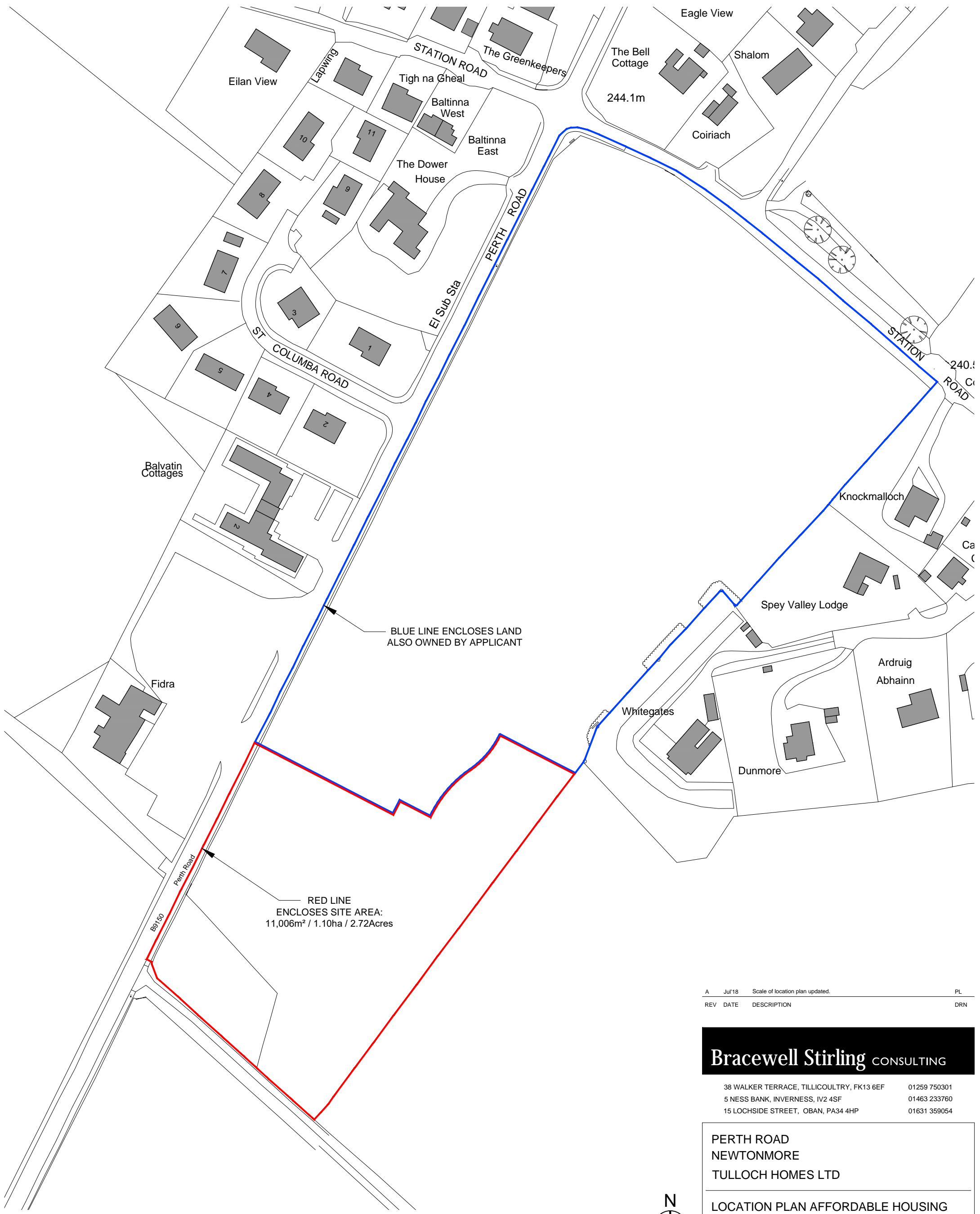
Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PERTH ROAD
 NEWTONMORE
 TULLOCH HOMES LTD

LOCATION PLAN AFFORDABLE HOUSING

STATUS:	PLANNING		
SCALE:	1 : 1000	DRAWN:	PL
PAPER SIZE:	A3	DATE:	May 2018
DWG No.	3295-02-001		REV.



BLUE LINE ENCLOSES LAND ALSO OWNED BY APPLICANT

RED LINE ENCLOSES SITE AREA:
11,006m² / 1.10ha / 2.72Acres

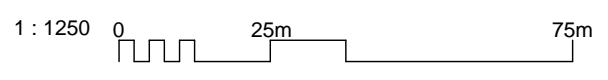
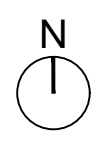
REV	DATE	DESCRIPTION	DRN
A	Jul'18	Scale of location plan updated.	PL

Bracewell Stirling CONSULTING
 38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

**PERTH ROAD
 NEWTONMORE
 TULLOCH HOMES LTD**

LOCATION PLAN AFFORDABLE HOUSING

STATUS:	PLANNING
SCALE:	1 : 1250
PAPER SIZE:	A3
DRAWN:	PL
DATE:	May 2018
DWG No.	3295-02-001
REV.	A



- KEY**
- Existing trees and mounding with Interpretative Panel 'The Coffin Road' at site boundary - retained and protected during works.
 - Proposed 3-3.5m tall, selected standard tree planting - Birch, Rowan, Cherry and Alder species.
 - Proposed 1.5-2.0m tall, feathered tree planting to open spaces - Birch species.
 - Proposed 1-1.5m tall, feathered tree planting to open spaces - Aspen species.
 - Proposed 1.5-2m tall, feathered tree planting to open spaces - Oak species.
 - Proposed 1-1.5m feathered trees: Rowan species.
 - Proposed 1-1.5m feathered trees: Alder
 - Proposed 1.25-1.5m high feathered conifer trees: Pine / Spruce / Douglas Fir species- (40-60cm.)
 - Proposed open spaces: top-soiled, cultivated and grass seeded.
 - Proposed open spaces: top-soiled, cultivated and sown with a grass / wildflower seed mix- maintained as long grass.
 - Proposed front gardens: top-soiled, stone picked, cultivated and turfed.
 - Proposed rear gardens: top-soiled, stone picked and cultivated.
 - Proposed mixed species hedging to garden boundaries with open spaces and at selected plot boundaries- maintained by future residents at 0.9m high.
 - Proposed Beech hedging to garden boundaries at selected plot boundaries- maintained by future residents at 0.9m high.

Proposed tree planting buffer to Perth Road with feathered tree planting and native shrub planting in tree / shrub shelters. Area to be sown with a wildflower / grass seed mix and edges to be maintained as long grass.

Proposed native species shrub planting and tree at communal space by parking bays.

LANDSCAPE NOTES
 All areas to be soft landscaped to be litter picked and all site debris / stones etc to be removed from site. All subsoil areas to be thoroughly de-compacted to ensure that they are free draining.
 Tulloch Homes Landscape Consultant to inspect subsoil areas prior to placing of topsoil.
 Shrub planted areas to be formed with 300mm depth of premium quality topsoil laid on clean de-compacted subsoil layer incorporating GREEN TREE PAS 100 soil improver (composted green waste) at a rate of 35mm depth across topsoiled areas for shrub planting. On completion of shrub bed planting areas to be bark mulched with 50mm deep layer of composted bark mulching.
 Hedge planting to be formed from 600x 450mm deep topsoiled trench, on clean de-compacted subsoil layer. Hedging trench to be backfilled with premium quality topsoil mixed with GREEN TREE PAS 100 soil improver (35mm deep layer spread over trench and worked into soil during planting). On completion of hedging planting areas to be bark mulched with a 50mm depth of composted bark mulching.

Selected standard tree planting pits to be formed to 900x900x450 mm deep pits with base broken up for a further depth of 150mm and backfilled with premium quality topsoil, mixed with GREEN TREE PAS100 soil improver (50mm deep layer spread over tree pit and worked into backfill).
 Where pits are found not to be free draining request confirmation from Client prior to installing land drainage pipework joining tree pits and leading to soakaway.
 Selected standard trees to be staked with double 50mm diameter machine rounded stakes with hessian tree ties to detail, 500mm high.

Feathered and light standard trees to be staked with a single 50mm diameter machine rounded stake, 500mm high secured with Hessian tree ties to detail. (Tree pits 600 x 600 x 450mm deep, with base broken up for a further 150mm and backfilled with premium quality topsoil, mixed with GREEN TREE PAS 100 soil improver (35mm deep layer spread over tree pit and worked into tree pit).
 Close mown grass areas to be formed with 150mm deep premium quality topsoil laid on clean de-compacted subsoil layer. Grassed areas to be seeded using a Blec two pass technique using the following seed mix sown at 25g/m2:
 Agrostis capillaris (Common Bent) 10%
 Anthoxanthum odoratum (Sweet Vernal Grass) 20%
 Deschampsia flexuosa (Wavy Hair Grass) 30%
 Festuca ovina (Sheeps Fescue) 25%
 Poa pratensis (Smooth stalked Meadow Grass) 15%

Proposed areas surrounding the Suds pond and woodland structure planting areas to be seeded with Scotia seeds 'Highland Grassland Mix' (80% Grasses, 20% Wildflowers) to be sown on stone picked, weed-killed topsoil at 3g/m2.

Hedging plants to be protected with Boddingtons Acorn or equivalent 38mm x 45cm clear spiral guards with low bamboo canes.
 Native Species Woodland screening planting to be protected with Boddingtons Acorn or equivalent tree / shrub guards: Trees - Green Treeguard mesh shelters with two ratchet ties secured to 25 x25 mm softwood stakes (Diameters 80-100mm- 60-90cm high) Conifers and shrub species - Green Treeguards for shrubs, mesh shelters with two ratchet ties secured to 25 x 25mm softwood stakes (Diameters 130-160, 150-180 and 170-200mm, 60cm high.)

Any failures in planting within the first 5 years after planting to be replaced with plants of similar species / size (in the next following planting season). Refer to Landscape Maintenance schedule for details of proposed maintenance regime for the first five years after planting.

TOPSOIL - It is intended to salvage and retain the existing soil in temporary soil heaps and then re-use for the future house gardens and open spaces. Where additional topsoil is required, the supplied topsoil will require to comply with BS5388:2015.
 GREEN TREE PAS 100 soil improver as supplied by Green Tree 01423 332100* - or equal and approved.

REVISIONS

KEITH L WOOD LANDSCAPE DESIGN



1, Old Branziel Cottage, Balmore, By Torrance, Glasgow, G64 4AH.
 Tel: 01360 620358 Mob: 07584 054586
 email: keithwood6@gmail.com
 www.keithwoodlandscapedesign.co.uk

Project Title: PERTH ROAD, NEWTONMORE, AFFORDABLE HOUSING.

CLIENT: TULLOCH HOMES LTD

DRAWING: SOFT LANDSCAPE PROPOSALS
 TITLE:

PLANNING

Scale 1:250@A1 Date 15.08.18
 Drawn k wood Approved
 Drawing No. TH 100.18 SL-01 Rev. -

K WOOD TULLOCH HOMES LTD , PERTH ROAD, NEWTONMORE AFFORDABLE HOUSING PLANTING SCHEDULE 15.08.18

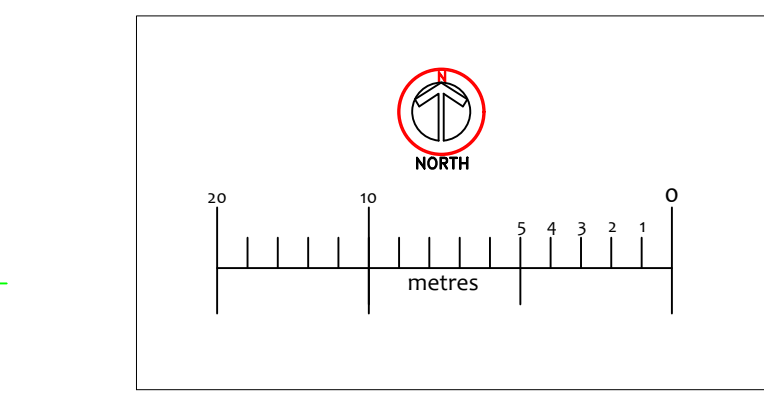
Species	Height	Girth	Pot Size	Specification	Density	Number
Betula pendula 'Fastigiata'	300-350cm	10-12cm	35L	Selected Standard :8 brks:2x	Counted	1 No.
Sorbus aucuparia	300-350cm	10-12cm	bare-root	Selected Standard :4 brks:2x	Counted	7 No.
Betula pendula	200-250cm	10-12cm	45L	Multi-stemmed	Counted	4 No.
Sorbus aucuparia	150-175cm		bare-root	Feather :2x :3 brks	Counted	10 No.
Betula pendula	150-175cm		bare-root	Feather :2x :3 brks	Counted	13 No.
Populus tremula	125-150cm		bare-root	1+2 :1 Transplant :3 brks	Counted	3 No.
Alnus glutinosa	250-300cm	6-8cm	bare-root	Light Standard :6 brks :2x	Counted	3 No.
Prunus padus	150-175cm		bare-root	Feather :2x :3 brks	Counted	3 No.
Quercus robur	150-175cm		bare-root	Feather :3 brks :2x	Counted	4 No.

Species	Height	Girth	Pot Size	Specification	Density	Number
Fagus sylvatica	80-100cm		bare-root	1+2 :1 Transplant :3 brks (0.3ctr Double Staggered at 0.3m offset)	Counted	188 No.

Species	Height	Pot Size	Specification	Density	Number
Vaccinium myrtillus	20-30cm	2L	Bushy :4/5 brks	4/m ²	81 No.
Erica tetralix	15-20cm	9cm	Several shoots :5/7 brks	6/m ²	99 No.
Myrica gale	30-40cm	2L	Bushy :3/4 brks	3/m ²	68 No.
Calluna vulgaris	15-20cm	9cm	Several shoots :5/7 brks	6/m ²	69 No.
Erica cinerea	15-20cm	9cm	Several shoots :5/7 brks	6/m ²	32 No.

Species	Height	Pot Size	Specification	Density	Number
Juniperus communis ssp 'Communis'	25-30cm	2L	Bushy	3/m ²	53 No.
Picea omorika	100-125cm	25L	Leaders and laterals	Counted	4 No.
Pinus sylvestris	100-125cm	25L	Leaders and laterals	Counted	7 No.
Juniperus communis ssp 'Communis'	25-30cm	2L	Bushy	Counted	8 No.

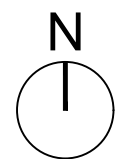
Species	Height	Mix Species Contribution	Pot Size	Specification	Density	Number
Acer campestre	60-80cm	20%	bare-root	1+1 :1 Transplant :3 brks (0.3ctr Double Staggered at 0.3m offset)	Counted	41 No.
Crataegus monogyna	60-80cm	50%	bare-root	1+1 :1 Transplant :3 brks (0.3ctr Double Staggered at 0.3m offset)	Counted	102 No.
Corvus avellana	60-80cm	20%	bare-root	1+1 :1 Transplant :3 brks (0.3ctr Double Staggered at 0.3m offset)	Counted	41 No.
Rosa canina	40-60cm	2%	bare-root	1+1 :1 Transplant :3 brks (0.3ctr Double Staggered at 0.3m offset)	Counted	15 No.
Ilex aquifolium	30-40cm	8%	9cm	Bushy hedging	Counted	17 No.
						Total :206 No.





PROPOSED ENERGY STRATEGY
WILL PROVIDE AN AIR SOURCE
HEAT PUMP TO EACH DWELLING

--- SITE BOUNDARY
— OWNERSHIP BOUNDARY



B	Aug'18	Hardstanding for bins indicated to rear gardens.	PL
A	Jun'18	Ownership boundary indicated	PL
REV	DATE	DESCRIPTION	DRN

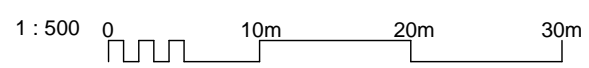
Bracewell Stirling CONSULTING

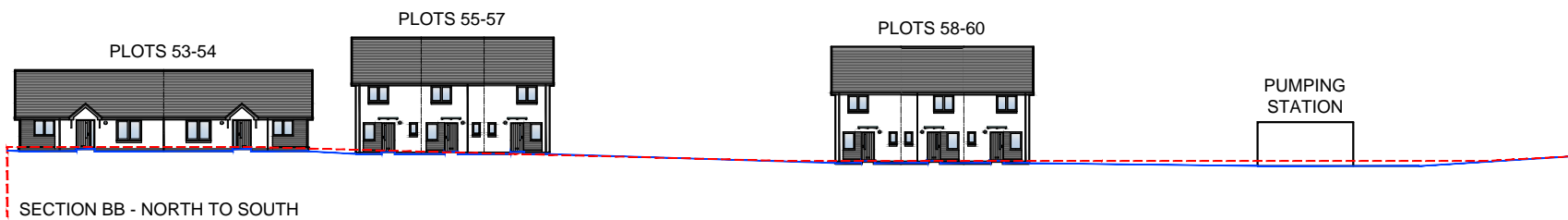
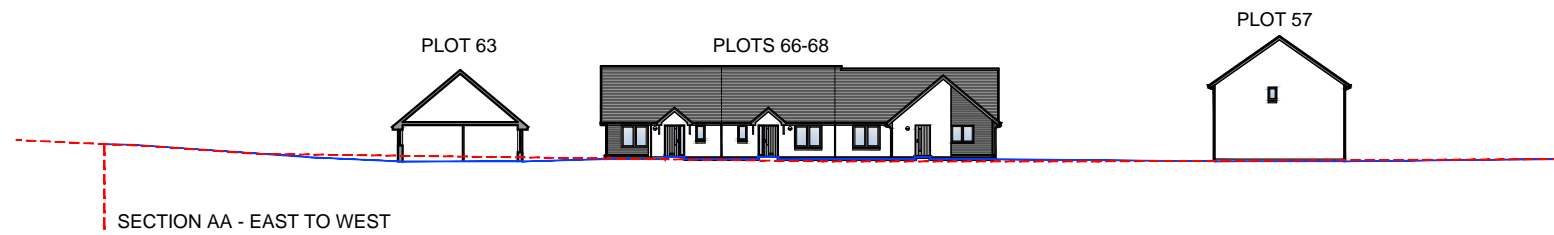
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PERTH ROAD
 NEWTONMORE
 TULLOCH HOMES LTD

SITE PLAN AS PROPOSED - AFFORDABLE HOUSING

STATUS:	PLANNING		
SCALE:	1 : 500	DRAWN:	PL
PAPER SIZE:	A3	DATE:	Mar 2018
DWG No.	3295-01-051		REV. B





- - - - - EXISTING GROUND LEVEL
————— PROPOSED GROUND LEVEL

REV	DATE	DESCRIPTION	DRN

Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PERTH ROAD
 NEWTONMORE
 TULLOCH HOMES LTD

SITE SECTIONS - AFFORDABLE HOUSING

STATUS: **PLANNING**

SCALE: 1 : 500 DRAWN: PL

PAPER SIZE: A3 DATE: Aug 2018

DWG No. **3295-01-052** REV.

