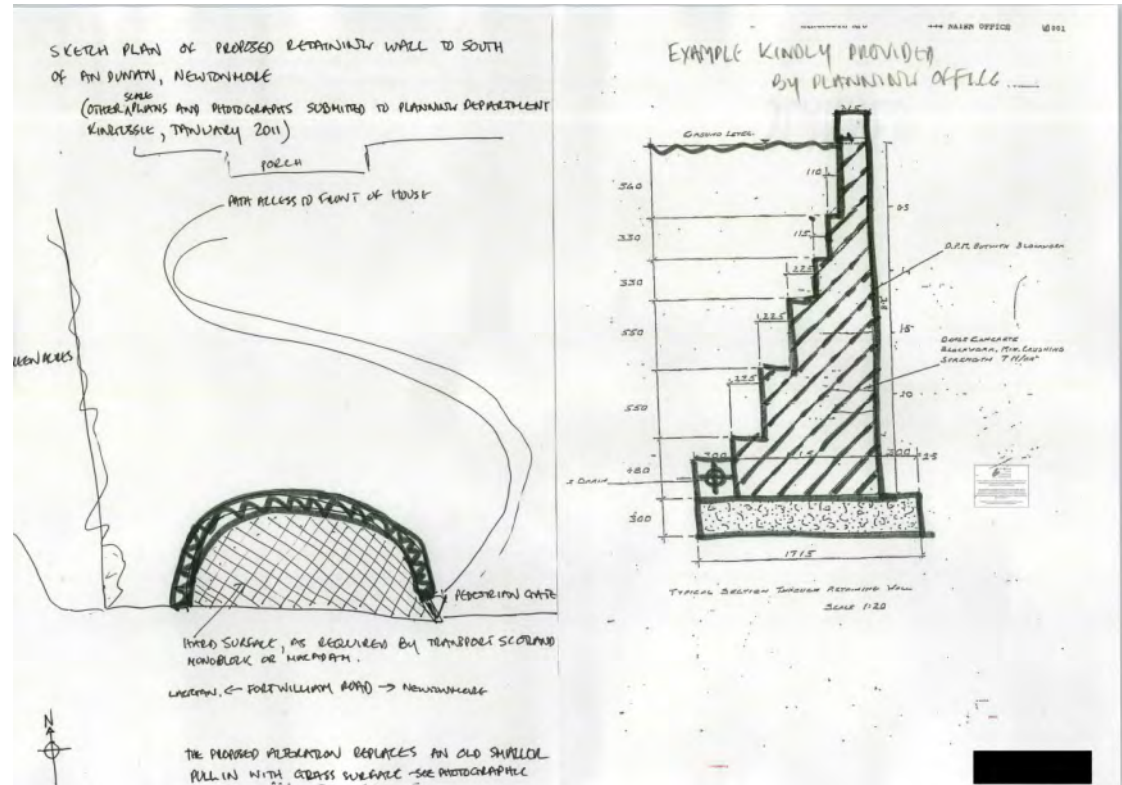


Planning Permission for upgrade and formation of parking and turning area  
 Applicant: Ms Lillias Noble



Site for improved vehicle pull-in



Layout Plan

Retaining Wall

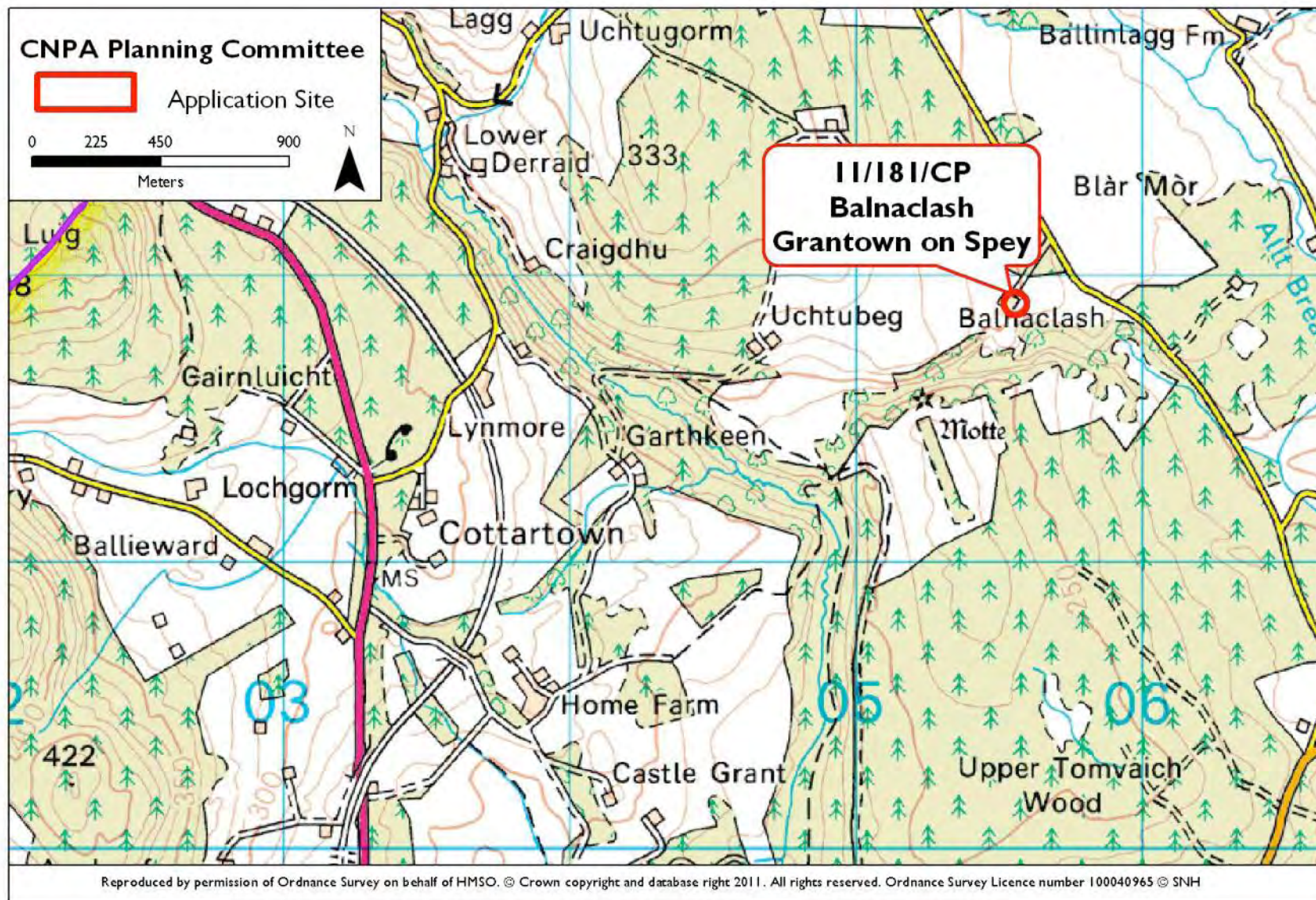
**KEY POINTS:**

- Proposed improved vehicle pull-in area with retaining wall (up to 1.5m) to a property on the A86 at Newtonmore.
- Minor improvement to existing access.

**RECOMMENDATION: NO CALL-IN**

**COMMENTS:** Retaining wall to be sensitively finished in this prominent location on the main road.

<http://wam.highland.gov.uk/wam/simpleSearchResults.do?action=firstPage>



Planning Permission for part change of use of south wing of agricultural  
steading to domestic outbuilding  
Applicant: Mr C Bremner



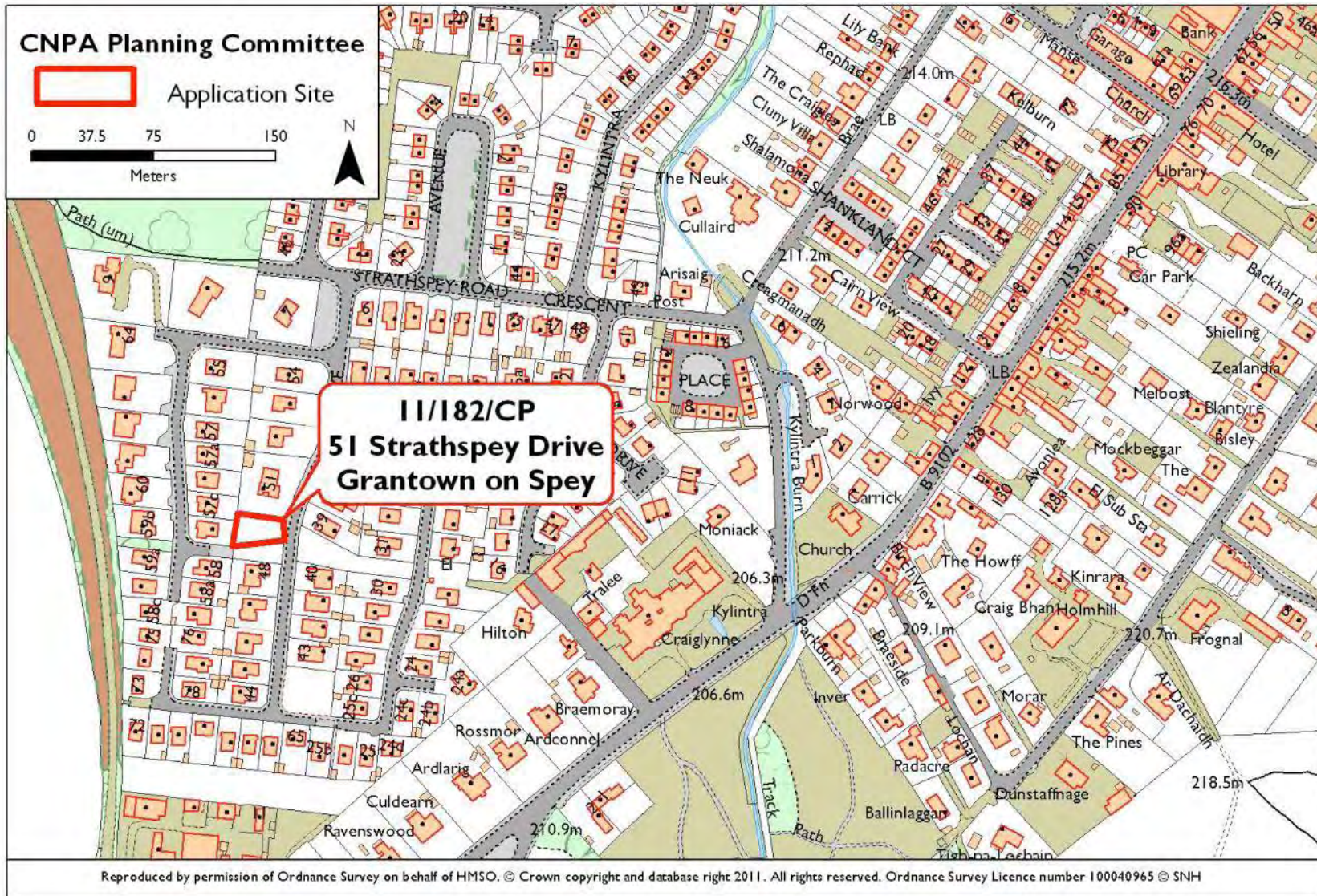
Section of steading where domestic use is sought

### KEY POINTS

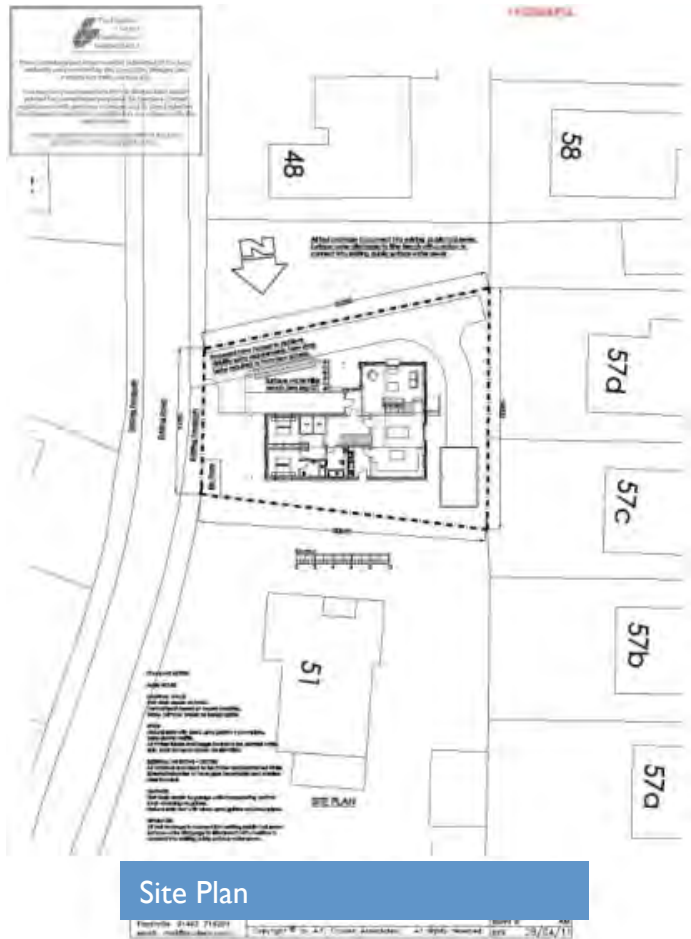
- Proposal to change use of part of steading to domestic use.
- Proposal is so that the building can benefit from permitted development rights for solar pv panels.
- No external alterations other than repairs proposed by this application with addition of velux windows.
- Minor change of use to part of building raising no issues of significance.

### RECOMMENDATION: NO CALL-IN

<http://wam.highland.gov.uk/wam/caseFile.do?category=application&caseNo=11/02033/FUL>



Planning Permission for erection of house and garage in garden ground  
 Applicant: Mr Andrew McLeod



Installed to the South  
light, Designation  
0-47)

horizontal ground  
contours shown  
at 10m intervals  
to indicate site level

Shaded area  
indicates  
proposed  
footprint



Roadside Elevation

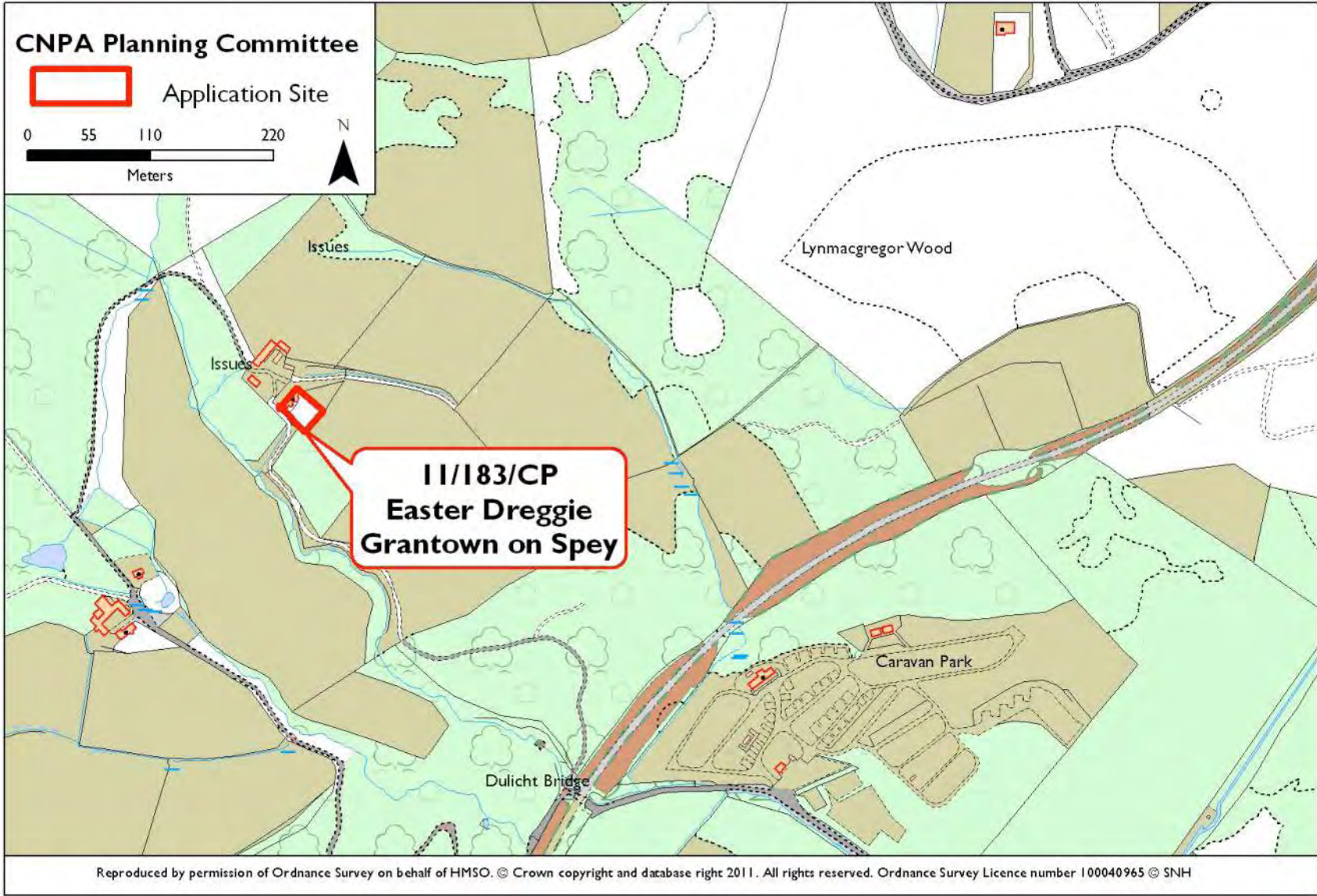


**KEY POINTS**

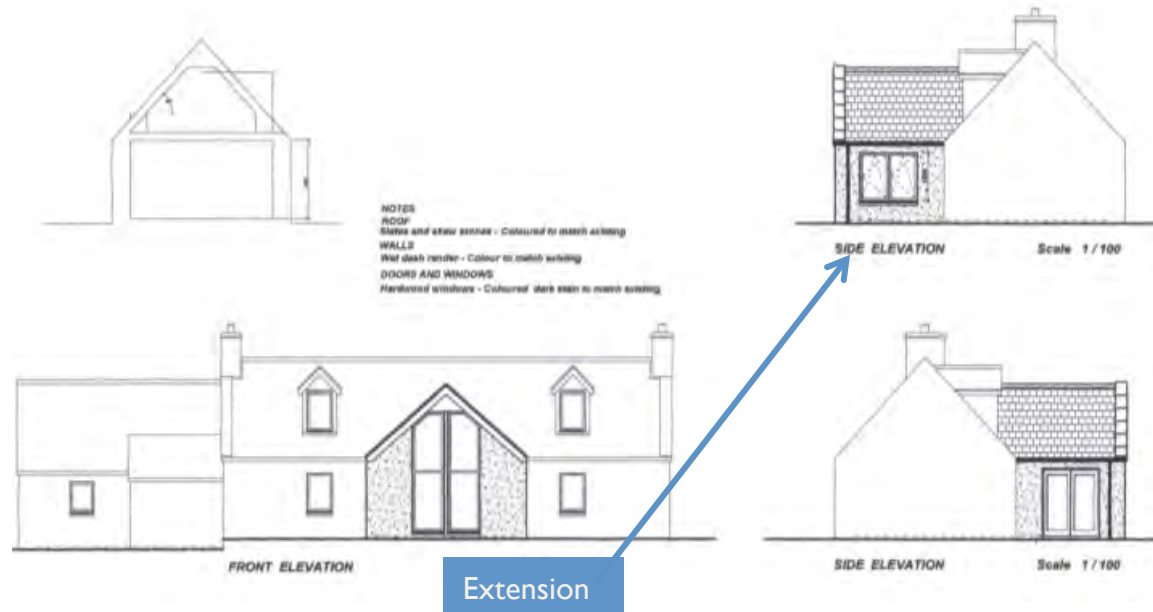
- Proposal for new house and single garage on garden ground at site between existing houses on Strathspey Drive, Grantown.
- Contemporary design with mix of timber, render and slate roof with 2 solar panels.
- Proposal represents infill within settlement.
- Not considered to raise issues of significance.

**RECOMMENDATION: NO CALL-IN**

<http://wam.highland.gov.uk/wam/simpleSearchResults.do?action=firstPage>



Planning Permission for extension to form sunroom  
Applicant: Mr Charlie Stuart



### KEY POINTS

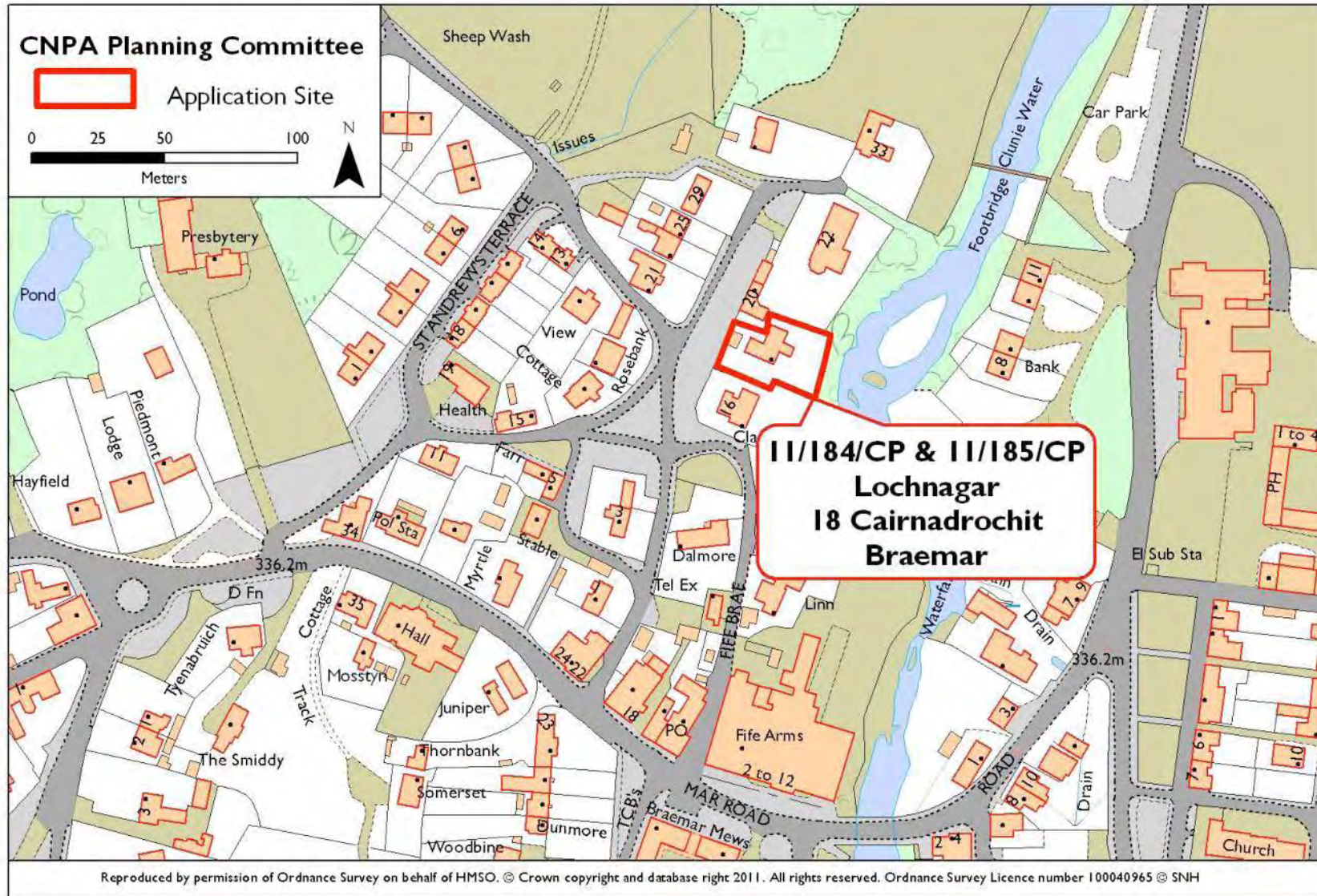
- Proposal to provide sun room to front elevation of dwelling.
- Materials include slate and hardwood timber doors/windows to match existing, walls to be render.
- Minor domestic addition to existing house, design comments recommended.

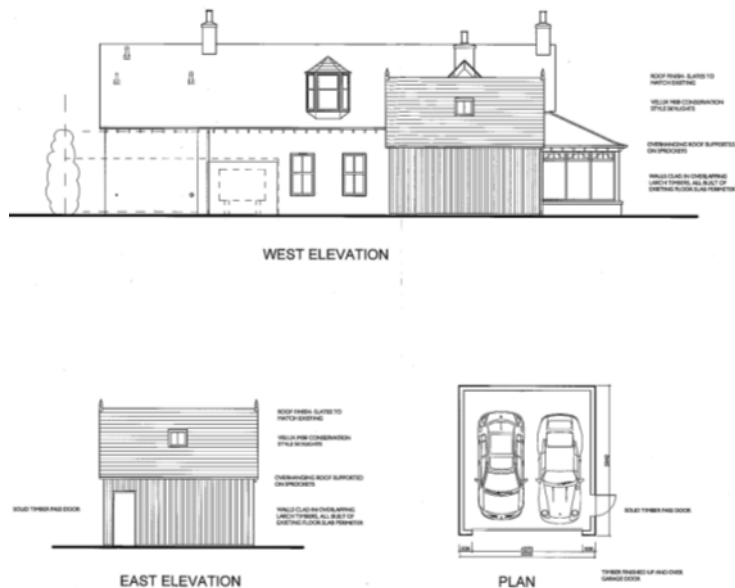
### RECOMMENDATION: NO CALL-IN

**COMMENTS:** The proposal should be considered carefully against Policy 24 House Extensions and Alterations of the CNP Local Plan with regard to design, massing and proportions and should also be considered against the CNP Sustainable Design Guide.

<http://wam.highland.gov.uk/wam/caseFile.do?category=application&caseNo=11/02053/FUL>







Proposed garage



Garage to be replaced

## KEY POINTS

- Proposal is to replace existing garage in garden ground within Braemar Conservation Area.
- Application 184 is for planning permission for the erection of a replacement garage with larch walls and a slate roof.
- Application 185 is for conservation area consent to remove the existing garage.
- While recognising the conservation area status this is a minor domestic change within a garden area.

## RECOMMENDATION: NO CALL-IN

[http://www.aberdeenshire.gov.uk/planning/apps/detail.asp?ref\\_no=APP/2011/1921](http://www.aberdeenshire.gov.uk/planning/apps/detail.asp?ref_no=APP/2011/1921)

[http://www.aberdeenshire.gov.uk/planning/apps/detail.asp?ref\\_no=APP/2011/1922](http://www.aberdeenshire.gov.uk/planning/apps/detail.asp?ref_no=APP/2011/1922)