

# **AGENDA ITEM 5**

## **APPENDIX 1B**

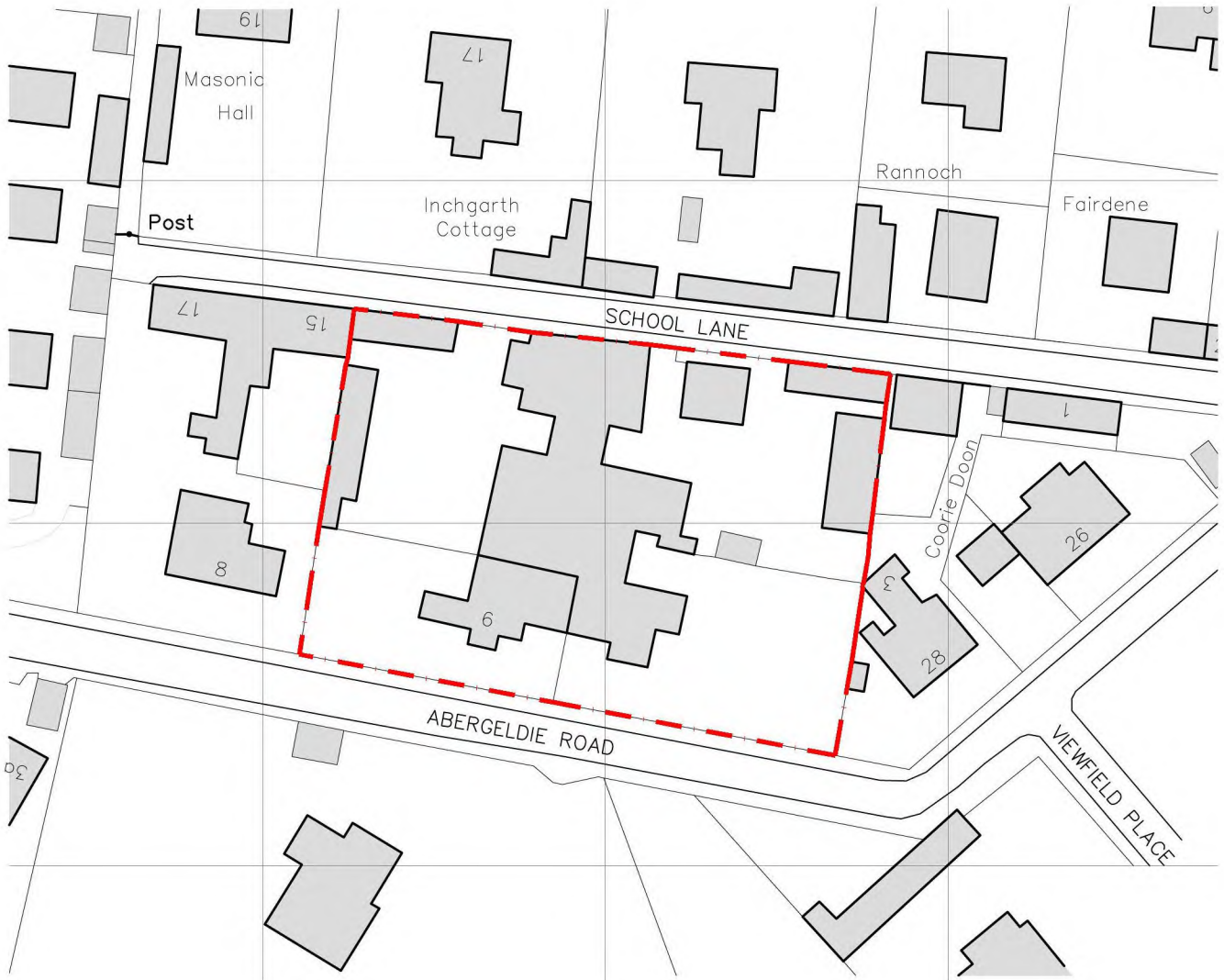
**2019/0003/DET**

**&**

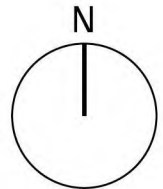
**2019/0006/LBC**

**PLANS**

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LOCATION PLAN




**CAIRNGORMS**  
 NATIONAL PARK AUTHORITY

ÙGH DARRAS PÀIRC NÀISEANTA A' MHONaidH RUaidH

0m 50m

Rev.	Description	By	Date

Project <b>HOUSING PROPOSALS</b>			 IAN RODGER ARCHITECTS
Location FORMER BALLATER SCHOOL			
Client/s GRAMPIAN HOUSING ASSOC.			
Drawing Title LOCATION PLAN			
Job No. B232	Drawing No. 001	Revision —	28 Bridge Street Ballater AB35 5QP
Scale ....at A4 1:1000	Date DEC.'15	Drawn by SR	
Tel. 01339 329029 info@ir-architects.co.uk www.ir-architects.co.uk			



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**EXTERNAL FINISHES**  
**LIGHTING**  
4m high Thorlux Starbeam lighting column, with 62W - 4000K LED  
1.05m high Thorlux Prope bollard, with 24W - 4000K LED  
Thorlux Cobalt Eyelid byhead fitting, with 15W - 4000K LED, microwave presence detector

**PAVING**  
Tobermore Shannon Duo permeable block paving, 'Charcoal', to vehicular areas; with 'Natural' paving blocks to delineate parking bays; Tobermore standard flags, 'Natural' to pedestrian areas

**NOTE:**  
All vegetable soil to be removed from the footprint of the Building in accordance with Section 3.1 of the Building Standards

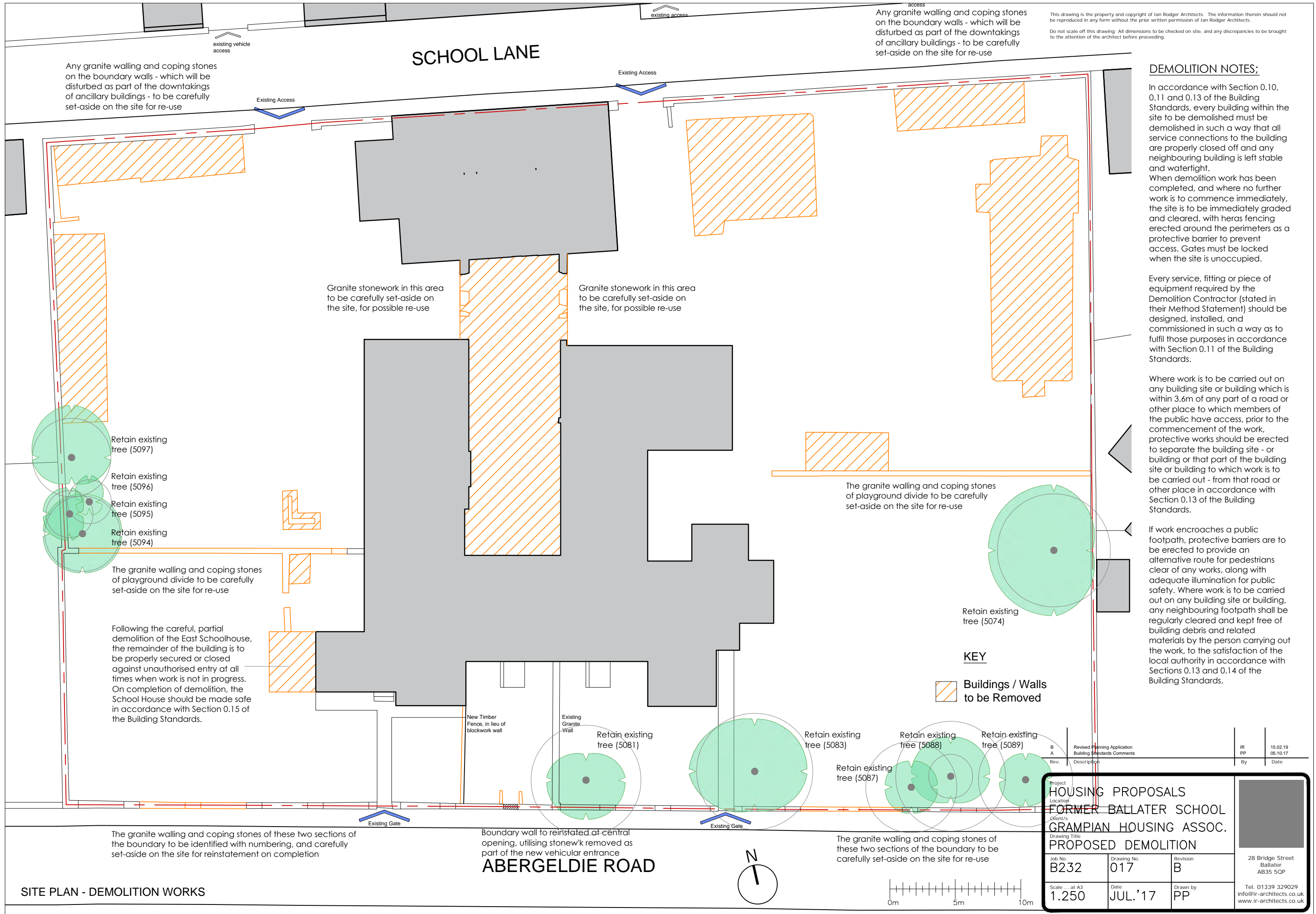
Rev.	Description	By	Date
G	Removal of temporary construction access	IR	20.02.19
F	Landscaping and lighting	IR	08.02.19
E	Site context added	IR	30.01.19
D	Windows added, to reflect elevations	IR	31.12.18
C	Planning application	PP	28.12.18
B	Additional parking space, and refuse bins arrangement	PP	18.06.18
A	Parking layout revision	PP	31.05.18

Project: HOUSING PROPOSALS  
Location: FORMER BALLATER SCHOOL  
Client/s: GRAMPIAN HOUSING ASSOC.  
Drawing Title: PROPOSED GROUND/SITE PLAN

Job No: B232	Drawing No: 020	Revision: G
Scale: 1:250 at A2	Date: MAY '18	Drawn by: PP

28 Bridge Street  
Ballater  
AB35 5QP  
Tel. 01339 329029  
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www.ir-architects.co.uk

GROUND FLOOR / SITE PLAN



Any granite walling and coping stones on the boundary walls - which will be disturbed as part of the dountakings of ancillary buildings - to be carefully set-aside on the site for re-use

Any granite walling and coping stones on the boundary walls - which will be disturbed as part of the dountakings of ancillary buildings - to be carefully set-aside on the site for re-use

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**DEMOLITION NOTES:**

In accordance with Section 0.10, 0.11 and 0.13 of the Building Standards, every building within the site to be demolished must be demolished in such a way that all service connections to the building are properly closed off and any neighbouring building is left stable and watertight. When demolition work has been completed, and where no further work is to commence immediately, the site is to be immediately graded and cleared, with heras fencing erected around the perimeters as a protective barrier to prevent access. Gates must be locked when the site is unoccupied.

Every service, fitting or piece of equipment required by the Demolition Contractor (stated in their Method Statement) should be designed, installed, and commissioned in such a way as to fulfil those purposes in accordance with Section 0.11 of the Building Standards.

Where work is to be carried out on any building site or building which is within 3.6m of any part of a road or other place to which members of the public have access, prior to the commencement of the work, protective works should be erected to separate the building site - or building or that part of the building site or building to which work is to be carried out - from that road or other place in accordance with Section 0.13 of the Building Standards.

If work encroaches a public footpath, protective barriers are to be erected to provide an alternative route for pedestrians clear of any works, along with adequate illumination for public safety. Where work is to be carried out on any building site or building, any neighbouring footpath shall be regularly cleared and kept free of building debris and related materials by the person carrying out the work, to the satisfaction of the local authority in accordance with Sections 0.13 and 0.14 of the Building Standards.

**KEY**

Buildings / Walls to be Removed

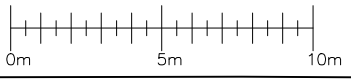
**SITE PLAN - DEMOLITION WORKS**

Project		HOUSING PROPOSALS	
Location		FORMER BALLATER SCHOOL	
Client/s		GRAMPIAN HOUSING ASSOC.	
Drawing Title			
PROPOSED DEMOLITION			
Job No.	Drawing No.	Revision	
B232	017	B	
Scale ... at A3	Date	Drawn by	
1:250	JUL '17	PP	
By		Date	
IR		15.02.19	
PP		05.10.17	
28 Bridge Street Ballater AB35 5QP			
Tel. 01339 329029 info@ir-architects.co.uk www.ir-architects.co.uk			

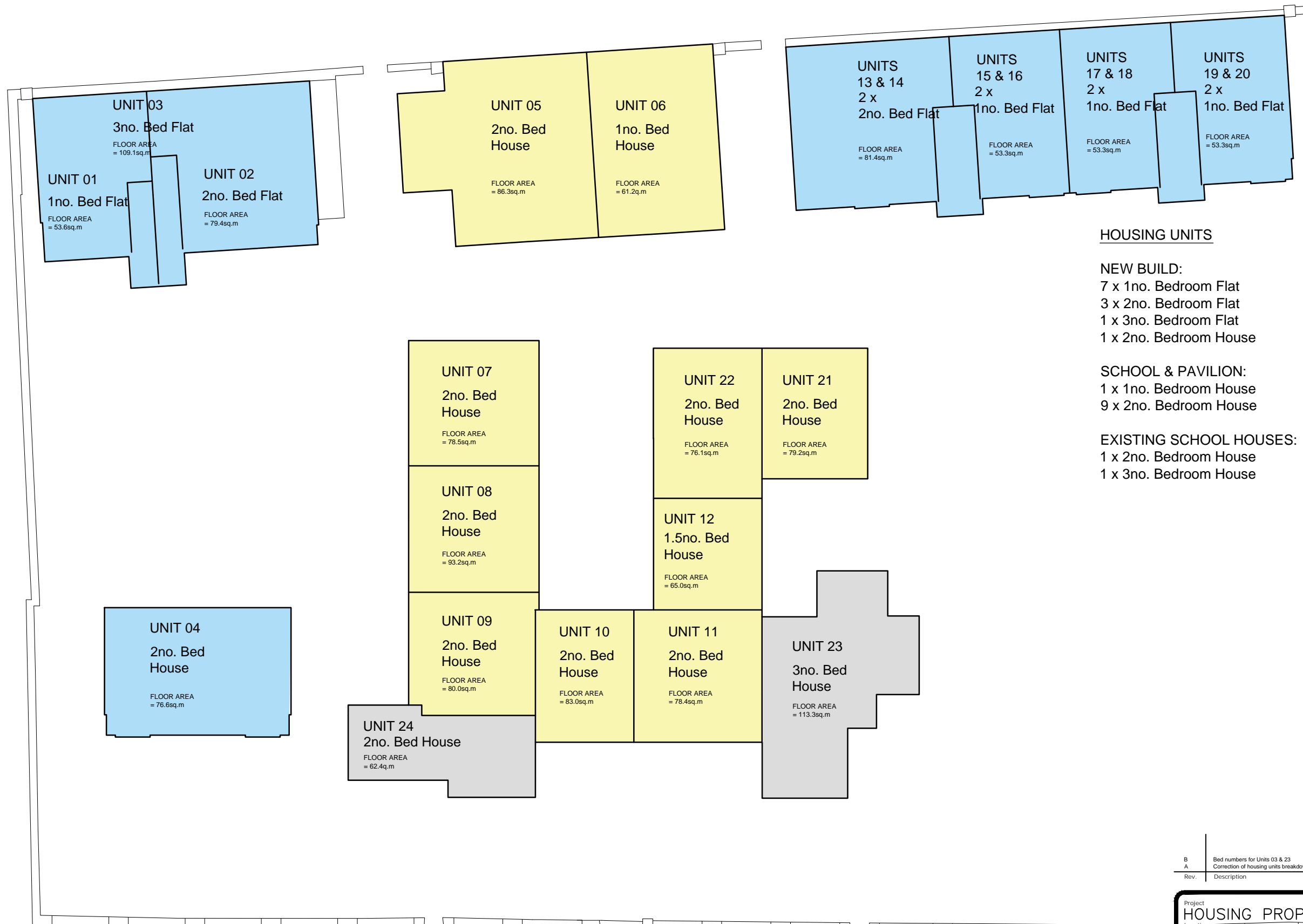
The granite walling and coping stones of these two sections of the boundary to be identified with numbering, and carefully set-aside on the site for reinstatement on completion

Boundary wall to reinstated at central opening, utilising stonew'k removed as part of the new vehicular entrance  
**ABERGELDIE ROAD**

The granite walling and coping stones of these two sections of the boundary to be carefully set-aside on the site for re-use







**HOUSING UNITS**

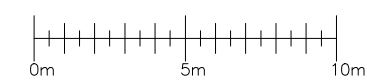
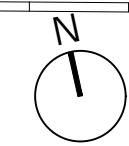
**NEW BUILD:**  
 7 x 1no. Bedroom Flat  
 3 x 2no. Bedroom Flat  
 1 x 3no. Bedroom Flat  
 1 x 2no. Bedroom House

**SCHOOL & PAVILION:**  
 1 x 1no. Bedroom House  
 9 x 2no. Bedroom House

**EXISTING SCHOOL HOUSES:**  
 1 x 2no. Bedroom House  
 1 x 3no. Bedroom House

Rev.	Description	By	Date
B	Bed numbers for Units 03 & 23	PP	30.01.19
A	Correction of housing units breakdown	PP	31.12.17

Project <b>HOUSING PROPOSALS</b>			28 Bridge Street Ballater AB35 5QP
Location FORMER BALLATER SCHOOL			
Client/A GRAMPIAN HOUSING ASSOC.			Tel. 01339 329029 info@ir-architects.co.uk www.ir-architects.co.uk
Drawing Title <b>PROPOSED HOUSING UNITS</b>			
Job No. <b>B232</b>	Drawing No. <b>025</b>	Revision <b>B</b>	
Scale 1:250	Date DEC.'18	Drawn by PP	





# Heather Dale Garden Design

Burnbrae Farmhouse, Park, Banchory, AB31 5HH, Tel: 01330 811989,  
Email: heather@hdgardendesign.co.uk

Client	Grampian Housing Association
Project	Abergeldie Road, Ballater
Title	Concept Plan
Version	1
Drawn By	Heather Dale
Date	6 February 2019
Scale	1:300 at ISO A3

### Client Brief

To maximise outdoor space for use by residents and ensure view of site from Abergeldie Road is as close to the current mass of greenery as possible. Minimise maintenance requirements.

### Design Rationale

The Communal Green in the west of the site provides the focus for outdoor activity for residents, it is a flexible space with room for picnicking, children's ball games and sitting relaxing and socializing. Communal gardens work best when they are not 'overdesigned' and there are plenty of seats, some of which can be moved to allow residents to use the space as they wish. The green is framed by borders (which could be raised and include integral seating) to provide a sense of enclosure for the sitting areas, to ensure there is no wind tunnel effect and to dampen noise of children playing.

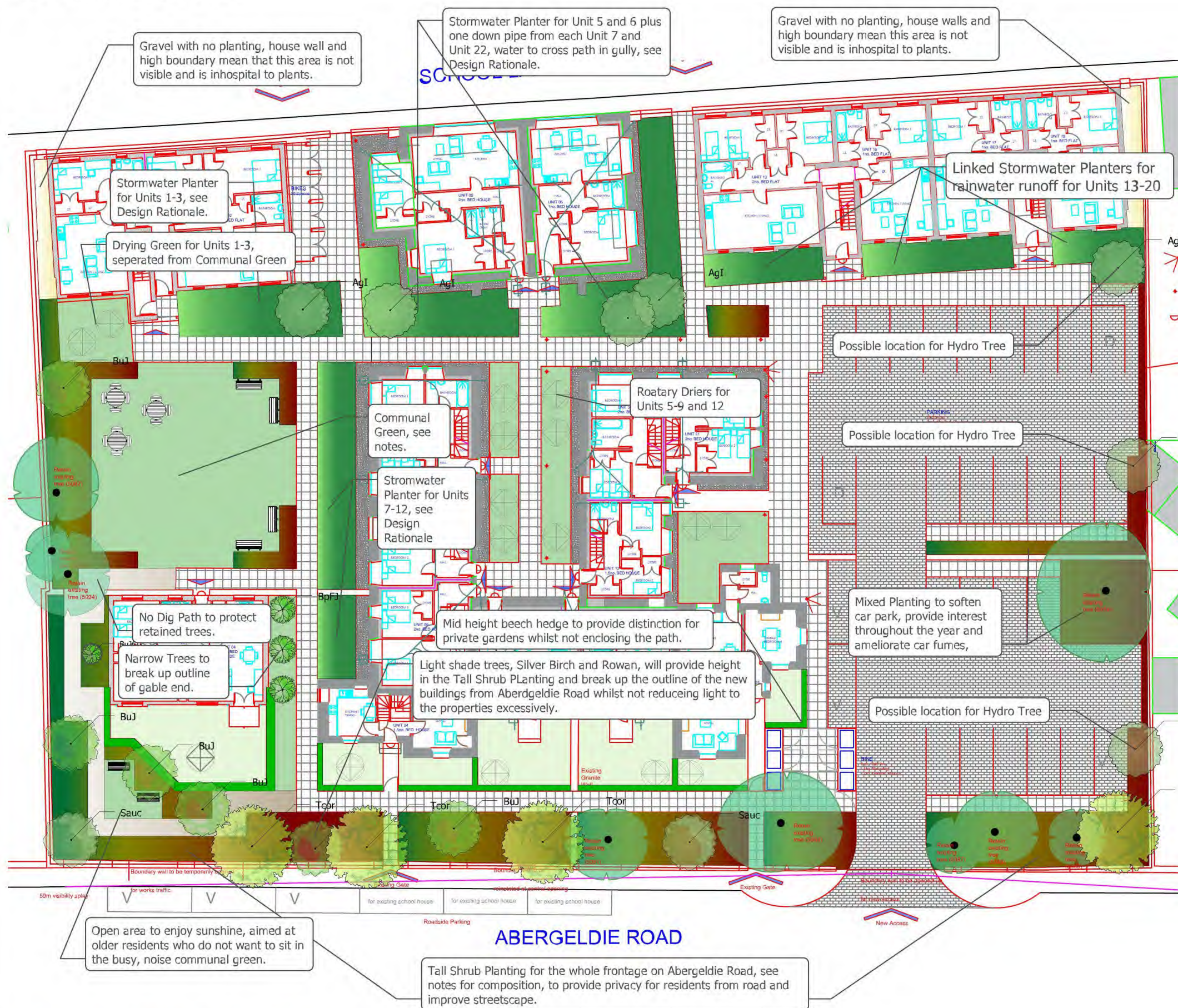
There is a quieter sunny sitting area to the south for residents who would prefer to be away from the hustle and bustle of the communal area. The greatest concern is that residents in the eastern blocks will not feel like they are able to use the communal area due to its location. Ideally a residents garden club and regular events could be initiated ameliorate this. A residents garden club is greatly beneficial for helping to maintain a high standard in the gardens, reducing the burden on the maintenance team and promotes a sense of belonging for residents.

Stormwater planters feasibility will need to be checked by engineers responsible for SUDS. Stormwater planters are slightly sunken borders, similar to SUDS ponds except they are not intended to have permanent water. Rainfall is diverted from downpipes into the planter providing temporary storage for water before infiltration through the bottom of the planter, or uptake and transpiration by plants. Planters are fitted with overflows which lead to soakaways. In extreme rainfall events, planters are designed such that water would flow away from the houses towards carparks or the communal green. The planters should allow a reduction in size of the currently specified soakaways. Stormwater planters provide an additional habitat on the site and therefore increase the biodiversity with a different range of plants to those elsewhere. See photos in attached report.

Remaining planting areas use a mix of shrubs and perennials to maximise colour and interest throughout the year whilst minimising the maintenance requirements. Several key plants will be used throughout the site to create cohesion and provide links to the native plants in the surrounding area. See Planting Notes attached.

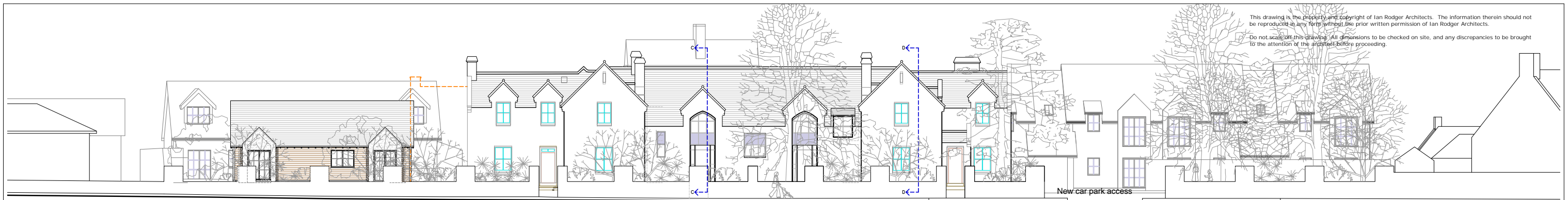
### Tree Codes

- Sauc *Sorbus aucuparia*
- Tcor *Tilia cordata*
- BpFH *Betula pendula* 'Fastigiata Joes'
- BuJ *Betula utilis* var. Jacquemontii
- BuJG *Betula utilis* var. Jacquemontii 'Greywoods Ghost' or similar
- AgI *Alnus glutinosa* 'Imperialis'



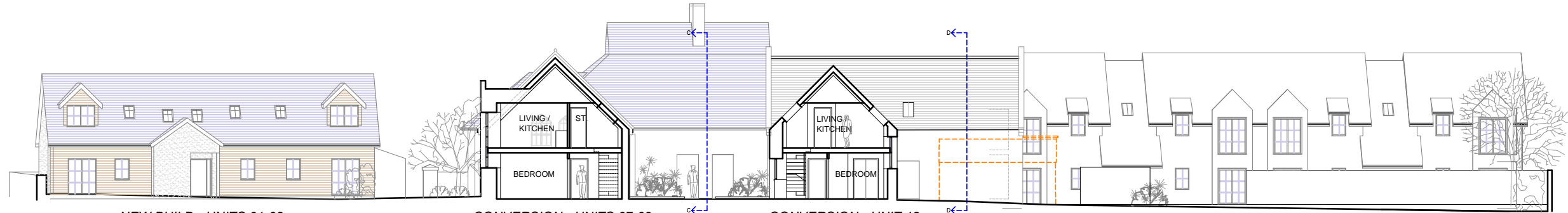


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NEW BUILD - UNIT 04  
 SOUTH ELEVATION - ABERGELDIE ROAD

REFURBISHMENT - UNIT 24  
 CONVERSION - UNITS 10, 11  
 CONVERSION - UNIT 23



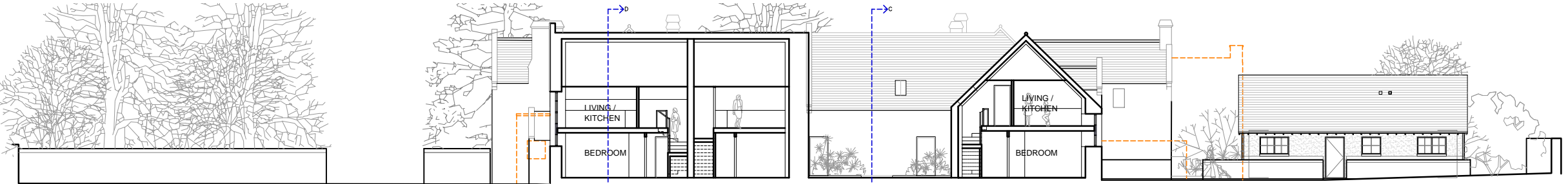
SECTION B-B

NEW BUILD - UNITS 01-03  
 CONVERSION - UNITS 07-09  
 CONVERSION - UNIT 12



NORTH ELEVATION - WITHIN SITE

CONVERSION - UNITS 21, 22  
 CONVERSION - UNITS 07-09  
 NEW BUILD - UNIT 04



SECTION A-A

CONVERSION - UNITS 21, 22  
 CONVERSION - UNITS 07-09  
 NEW BUILD - UNIT 04

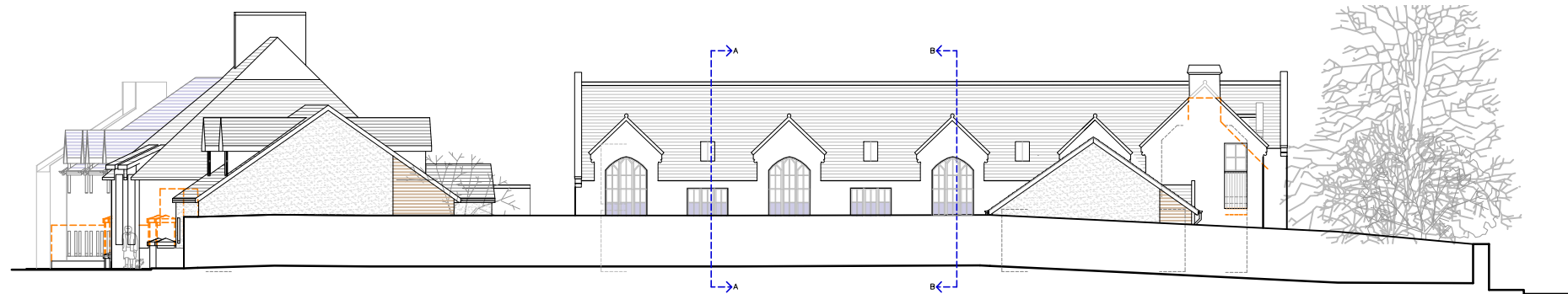
**FINISHES**

New Builds:

- Welsh Slate Penrhyn Heather Blue slates to new roofs
- Dark Grey Timber fascias, soffits and bargeboards
- Russwood Scotlarch RW102 profile timber wall cladding, weathering to a muted grey colour
- K-Rend Silicone Roughcast 'Sterling White' wall finish, applied to suitable backing board to new timber frame buildings
- High quality factory-glazed windows and external doorsets, pre-stained, dark grey finished.
- Black Cast Iron rainwater goods

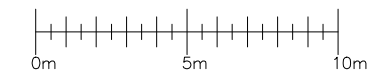
Existing Buildings:

- Re-lay existing slates
- Light Grey Timber fascias, soffits and bargeboards
- High quality factory-glazed windows and external doorsets, pre-stained, white finished.
- Black Cast Iron rainwater goods

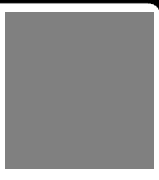


WEST ELEVATION

NEW BUILD - UNITS 01-03  
 CONVERSION - UNITS 07-09  
 NEW BUILD - UNIT 04

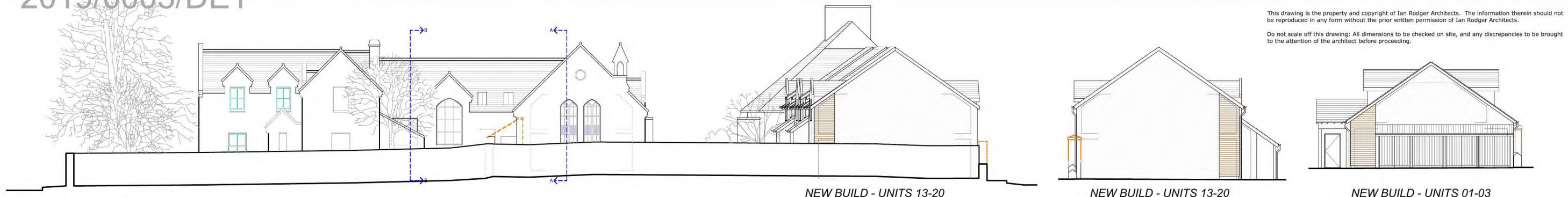


Rev.	Description	By	Date
A	Removal of temporary construction access	IR	20.02.19

Project <b>HOUSING PROPOSALS</b> Location <b>FORMER BALLATER SCHOOL</b> Client/s <b>GRAMPIAN HOUSING ASSOC.</b> Drawing Title <b>PROPOSED ELEVATIONS/SECTIONS 1</b>			 28 Bridge Street Ballater AB35 5QP Tel. 01339 329029 info@ir-architects.co.uk www.ir-architects.co.uk
Job No. <b>B232</b>	Drawing No. <b>023</b>	Revision <b>A</b>	
Scale ... at A3 <b>1:250</b>	Date <b>DEC.'18</b>	Drawn by <b>PP</b>	



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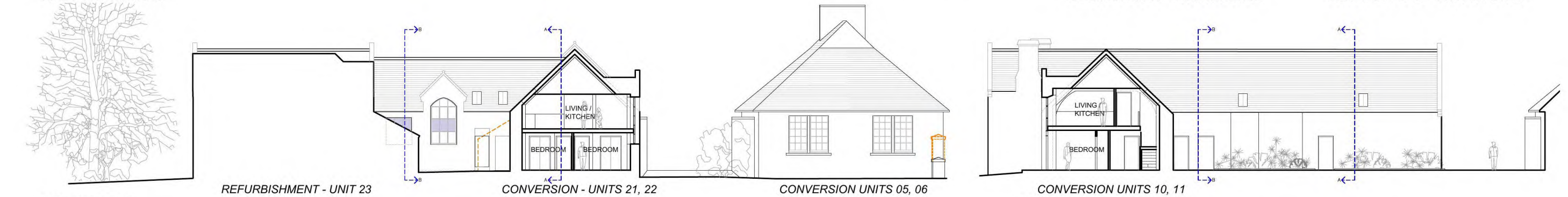


EAST ELEVATION

NEW BUILD - UNITS 13-20

NEW BUILD - UNITS 13-20  
SECTION H-H - WITHIN SITE

NEW BUILD - UNITS 01-03  
SECTION G-G - WITHIN SITE



SECTION D-D

REFURBISHMENT - UNIT 23

CONVERSION - UNITS 21, 22

CONVERSION UNITS 05, 06

CONVERSION UNITS 10, 11  
SECTION C-C



NORTH ELEVATION - SCHOOL LANE

NEW BUILD - UNITS 13-20

CONVERSION - UNITS 05, 06

NEW BUILD - UNITS 01-03

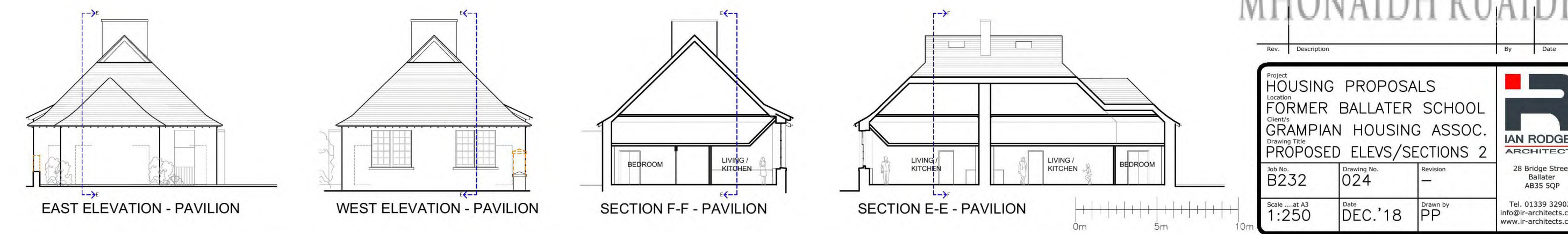


NEW BUILD - UNITS 01-03  
SOUTH ELEVATION WITHIN SITE

CONVERSION - UNITS 05, 06

NEW BUILD - UNITS 13-20

CAIRNGORMS  
NATIONAL PARK AUTHORITY  
UGHDARRAS PAIRC NAISEANTA A'  
MHONAI DH RUAIDH

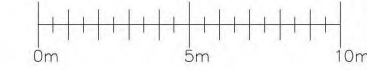


EAST ELEVATION - PAVILION


WEST ELEVATION - PAVILION

SECTION F-F - PAVILION

SECTION E-E - PAVILION

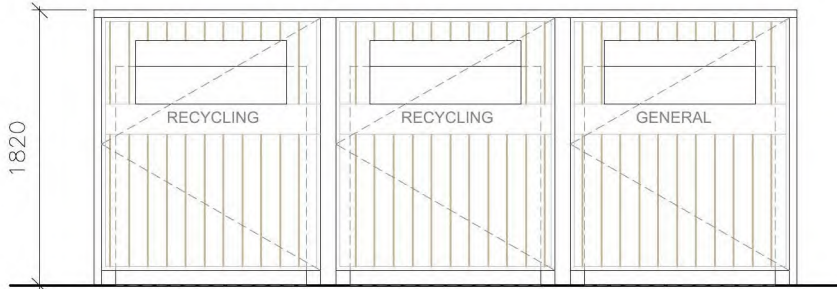


Rev.	Description	By	Date

Project HOUSING PROPOSALS		 28 Bridge Street Ballater AB35 5QP Tel. 01339 329029 info@ir-architects.co.uk www.ir-architects.co.uk
Location FORMER BALLATER SCHOOL		
Client/s GRAMPIAN HOUSING ASSOC.		
Drawing Title PROPOSED ELEVATIONS/SECTIONS 2		
Job No. B232	Drawing No. 024	Revision -
Scale ...at A3 1:250	Date DEC.'18	Drawn by PP



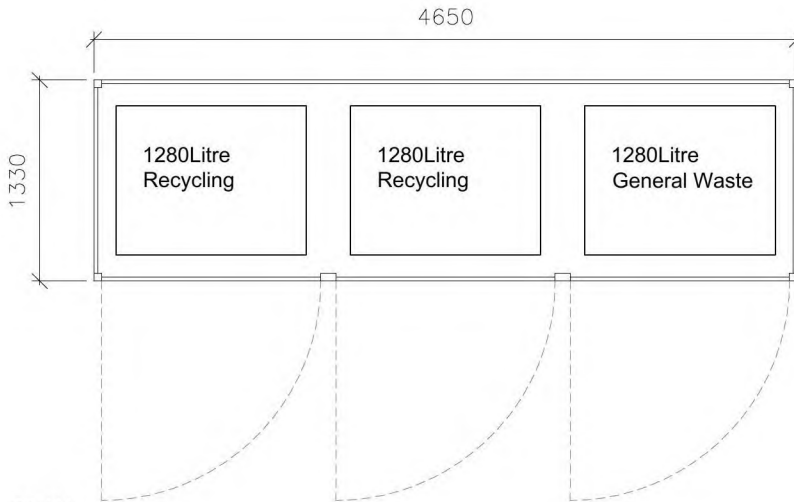
metroSTOR



FRONT ELEVATION



SIDE ELEVATION



PLAN

2No sets of these bin stores to be located in the site, as shown on site plan drawing 020.

Bins stores located within 10m of the car park entrance off Abergeldie Road, to facilitate the collection of the bins; with the engineer's drawing showing cars can still pass.

There will not be any factoring-service provided by GHA in this regard, with presentation of the bins on collection day. The Council's Waste Management Service will be responsible for that. However, GHA will have a contract in place to ensure the paths are cleared of snow and ice, to ensure smooth passage of the bins.

A tap is located at each of the bin stores (insulated, and with shut-off, to protect against freezing) so that the bins can be easily maintained by GHA.



PBM wasteSTOR<sup>®</sup> for 660L-1280L Wheeled Bins

These bin stores enclose the four-wheeled 1280L waste and recycling bins leaving no space for refuse to be deposited outside of the receptacle provided. With a number of door aperture and access control options available, the prevention of unauthorised usage or contamination of recyclables containers, associated anti-social behaviour and costly unscheduled waste removal visits can be avoided with PBM wasteSTOR<sup>®</sup>.

Designed specifically for challenging environments, robust construction and component longevity are fundamental to all metroSTOR<sup>®</sup> products. A fully welded mild steel frame, highly durable coatings, heavy duty components and low-maintenance cladding materials are proven to ensure many years of trouble-free service. <http://www.metrostor.eu/bin-enclosures/>





GRAMPIAN HOUSING ASSOCIATION  
FORMER BALLATER SCHOOL  
AERIAL VIEW - June.'18

CAIRNGORMS  
NATIONAL PARK AUTHORITY

ÙGH DARRAS PÀIRC NÀISEANTA A'  
MHON AIDH RUAIDH





Site Visualisations  
2019/0003/DET  
2019/0006/LBC

CAIRNGORMS  
NATIONAL PARK AUTHORITY

ÙGH DARRAS PÀIRC NÀISEANTA A'  
MHONÀIDH RUÀIDH



Aerial - Abergeldie Road (South West)





Aerial - Abergeldie South View





View 1





Aerial - Block B





Aerial View South East



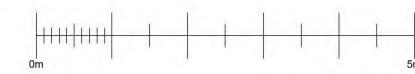


# Abergeldie Entrance

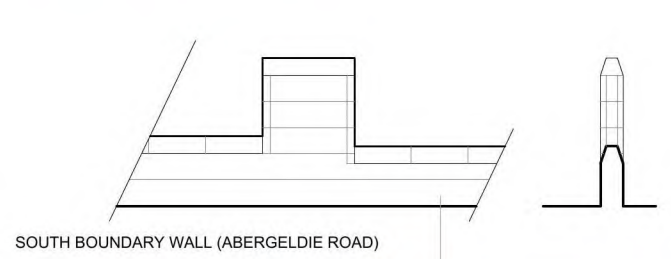




**EXISTING BOUNDARY WALLS**



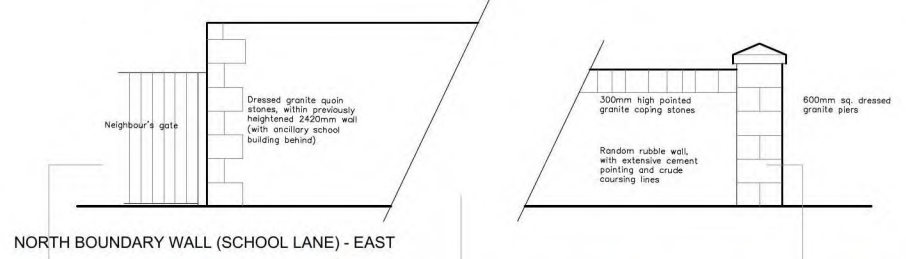
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SOUTH BOUNDARY WALL (ABERGELDIE ROAD)



Wall Section G



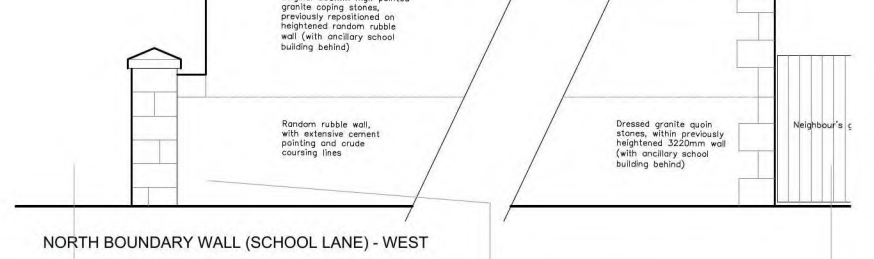
NORTH BOUNDARY WALL (SCHOOL LANE) - EAST



Wall Section A

Wall Section B

Wall Section C



NORTH BOUNDARY WALL (SCHOOL LANE) - WEST

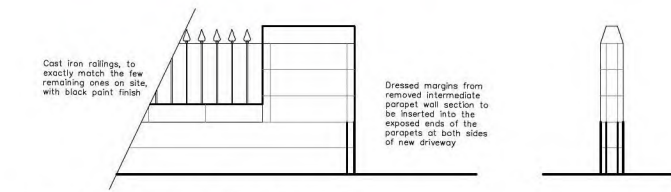


Wall Section D

Wall Section E

Wall Section F

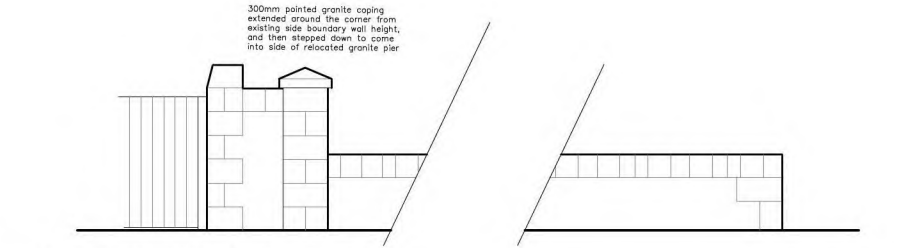
**PROPOSED BOUNDARY WALLS**



SOUTH BOUNDARY WALL (ABERGELDIE ROAD) AREA G



PART PROPOSED SOUTH BOUNDARY ELEVATION (ABERGELDIE ROAD) Scale 1:200



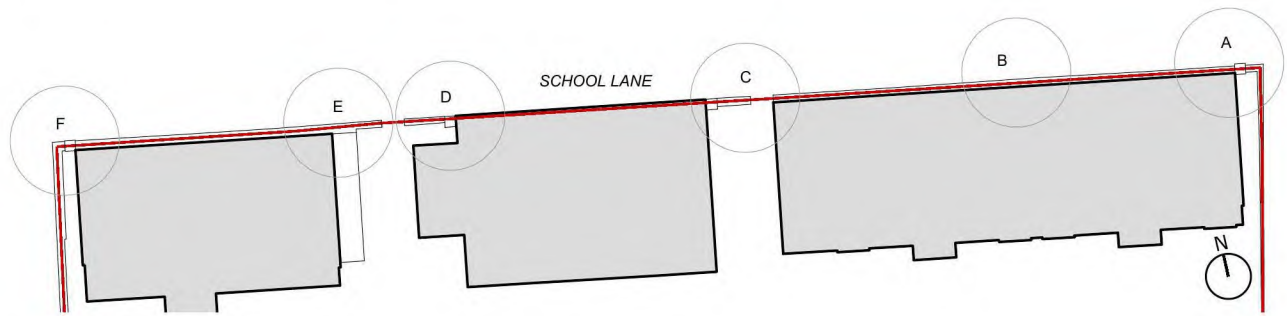
NORTH BOUNDARY WALL (SCHOOL LANE) - EAST AREAS A & C



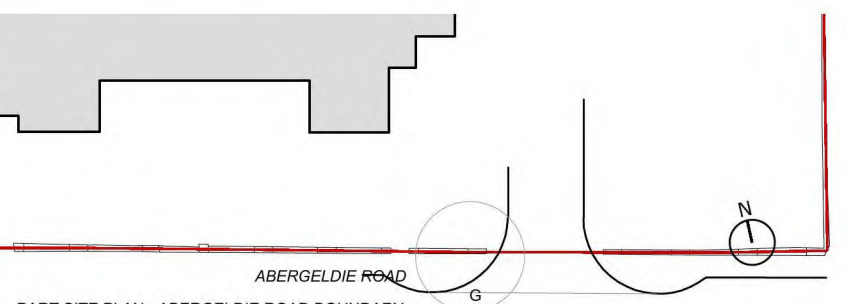
PROPOSED NORTH BOUNDARY ELEVATION (SCHOOL LANE) Scale 1:200



NORTH BOUNDARY WALL (SCHOOL LANE) - WEST AREAS E & F



PART SITE PLAN - SCHOOL LANE BOUNDARY Scale 1:250



PART SITE PLAN - ABERGELDIE ROAD BOUNDARY Scale 1:250



Rev.	Description	By	Date

Project <b>HOUSING PROPOSALS</b>		<p>28 Bridge Street Ballater AB35 5QP</p> <p>Tel. 01339 329029 info@ir-architects.co.uk www.ir-architects.co.uk</p>
Location <b>FORMER BALLATER SCHOOL</b>		
Client/s <b>GRAMPIAN HOUSING ASSOC.</b>		
Drawing Title <b>BOUNDARY DETAILS</b>		
Job No. <b>B232</b>	Drawing No. <b>028</b>	Revision -
Scale ...at A1 <b>1:50</b>	Date <b>APR. '18</b>	Drawn by <b>PP</b>