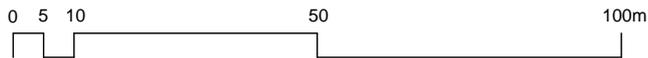


AGENDA ITEM 7

APPENDIX IC

2019/0012/MSC
(FARMHOUSE)

PLANS



Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicOLTRY, FK13 6EF
TEL: 01259 750301

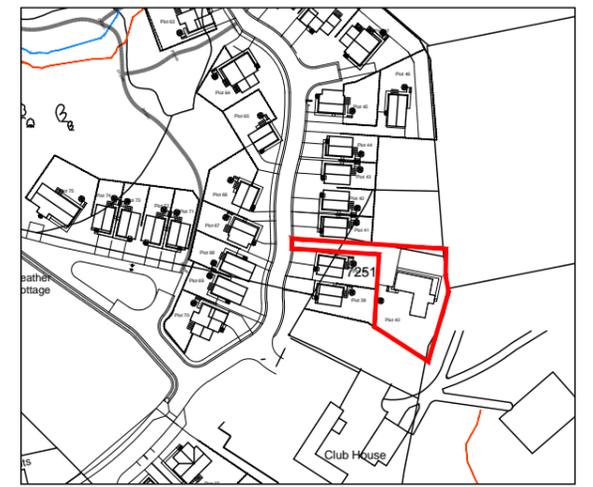
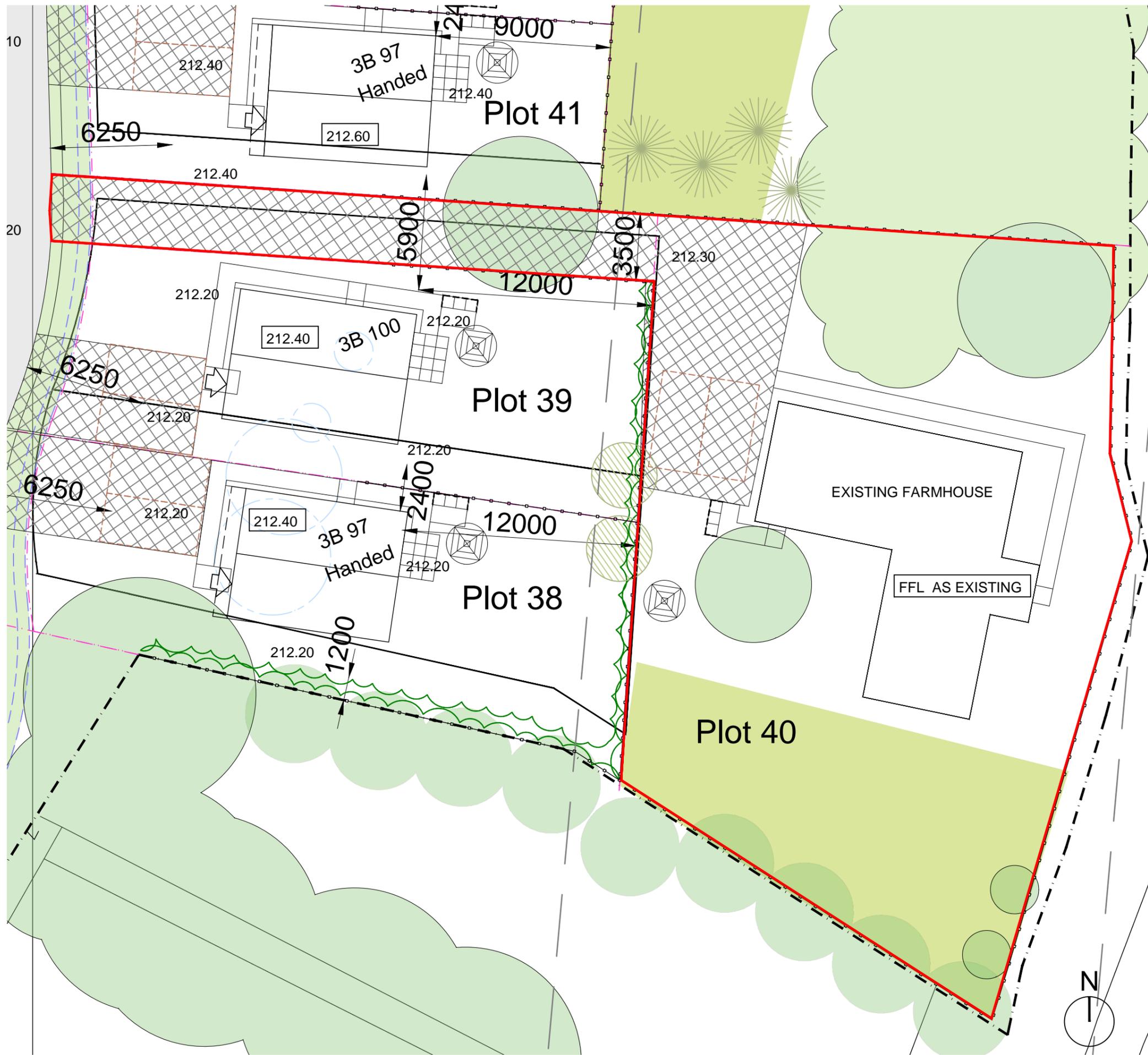
5 NESS BANK, INVERNESS, IV2 4SF
TEL: 01463 233760

FARMHOUSE RESTORATION
DALFABER FARM, AVIEMORE

TITLE
LOCATION PLAN

SCALE	DATE	18.12.2018	BY	SS
1:1250	PURPOSE	PLANNING	PAPER	A4

DWG NO.-REV 3920 / K2 / 01-19-LOC



Location Plan
Scale: (1:2500 @ A3)

- LEGEND**
- Site Boundary
 - Plot boundary Defined with marker posts
 - Potential Developable Area
 - 1000 Minimum dimension
 - Building footprint
 - Plot access formed with porous paviers
 - Finished floor level
 - Ground / road level
 - 0.9m wide paved footpath and platt pressed pc conc.
 - 1.8 x 2.4m wide paved patio area pressed pc conc.
 - Private refuse storage area
 - 1.8 x 1.8 paved hard standing
 - 1.5 timber palisade fences surround
 - Rotary drier location
 - Post and wire and rylock fence as detail.
 - Hedge/shrub adjacent to post and wire and rylock fence as approved detail.
 - Surveyed Trees - Retained
 - Un-surveyed Trees - Retained
 - Trees cut back to suit Building Footprint, but presumption to retain.
 - Trees to be Removed
 - 2.0m wide swale
 - Proposed woodland structure planting
 - Proposed amenity shrub planting
- NOTE:** For detailed specification of tree planting refer to approved drawings: 216/P14, P15 & P16
- Proposed deciduous tree planting
 - Proposed coniferous tree planting
 - Proposed deciduous tree planting within plots
 - Proposed coniferous tree planting within plots

A	23.01.18	CO-ORDINATED WITH LANDSCAPE STRATEGY PLAN	SS
REV	DATE	DESCRIPTION	DRN

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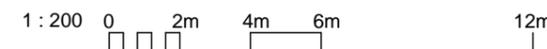
HOUSING DEVELOPMENT
DALFABER FARM, AVIEMORE

TITLE
RESIDENTIAL PLOT DEVELOPMENT
FARMHOUSE PLOT BLOCK AND LOCATION PLAN

SCALE	A3@1:200	DATE	18.12.2018	BY	SS
		PURPOSE	PLANNING	PAPER	A3

DWG NO.-REV
3920 / K2 / 01-19FH

Plot Development Plan
Scale: (1:200 @ A3)

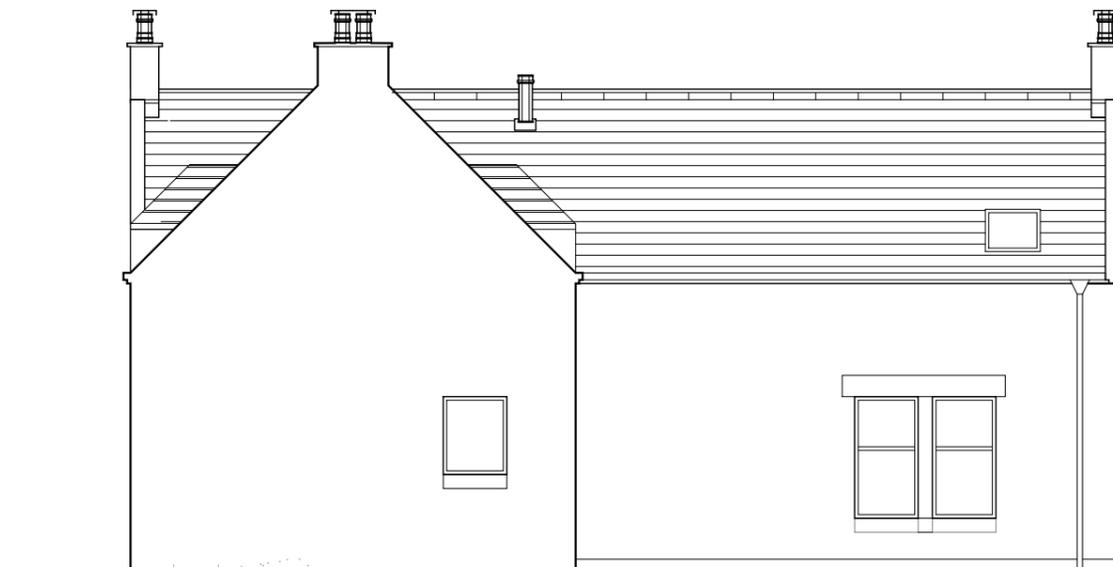




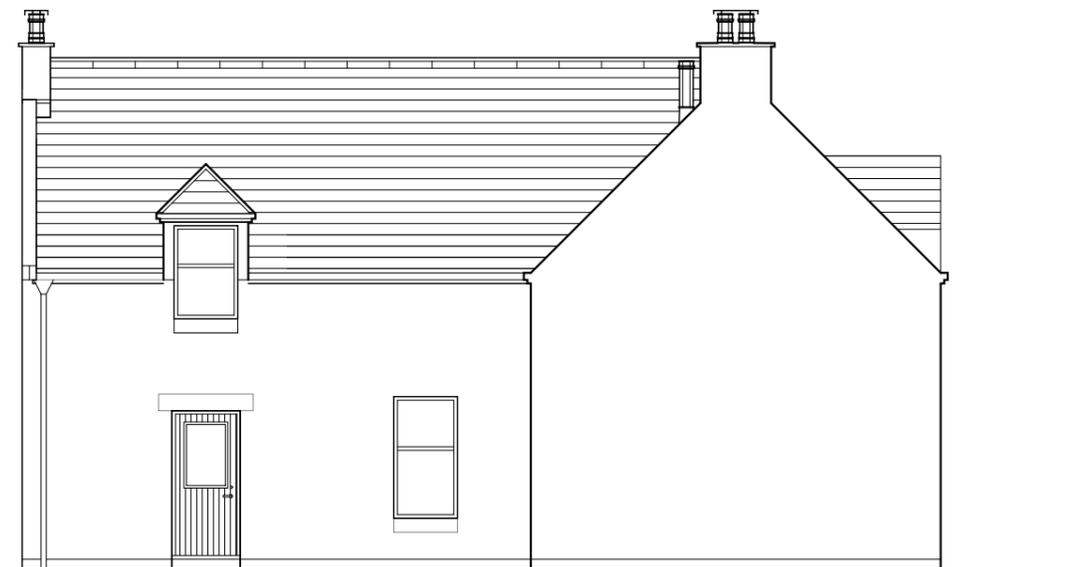
FRONT ELEVATION (Scale 1:100@A3)



GABLE ELEVATION (Scale 1:100@A3)



REAR ELEVATION (Scale 1:100@A3)



GABLE ELEVATION (Scale 1:100@A3)

Description of Proposed Works

INITIAL SURVEY

Bat Survey:

Prior to any works or secondary surveys commencing within the curtilage of the existing farmhouse, a full bat roost survey is to be carried out and a report prepared outlining the findings, identifying any necessary mitigation, should there be evidence of existing roosts. Thereafter an application for a licence is to be submitted to Scottish Natural Heritage.

Structural Survey:

Engineer to prepare a design for the safe propping of the existing structure prior to commencing works. Walls to be subject to a full structural engineer's survey and made structurally sound throughout.

DOWNTAKING

Roof:

All metalwork to be carefully removed. Slate roof covering to be removed and checked for soundness and set aside for re-use or replacement as necessary. Rainwater goods carefully removed and surveyed for size and profile. Fixing sockets to be raked back and cleaned. All roof timbers to main roof and dormer cheeks to be surveyed for size and profile prior to removal. Abutment to skewers and chimneys to be raked back and cleaned.

Timberwork:

All timberwork, windows and doors to be removed and any fixing sockets in stonework to be raked back and cleaned.

Stonework:

All stone lintels to be checked for structural integrity and mechanically strengthened by non-visible means where required. All chimneys, pots, caps and skewers to be checked for soundness, cleaned or replaced and re-bedded.

Existing harling to be carefully removed from walls to expose stonework. Stonework beds and joints to be raked back and cleaned and re-pointed with lime mortar.

Exposed stone to front elevation to have all joints raked back, cleaned and re-pointed with lime mortar pointing, for fair faced finish.

Ground Floor:

Floor/solum to be excavated to a minimum depth of 300mm and all non-inert matter removed. Exposed surface to be sprayed with a fungicide.

Formation of new openings:

Structural engineer to design all supporting prop work prior to slapping out. Selected stonework from downtaking to be set aside for reuse.

RENOVATION

Walls:

All walls to have damp proof course inserted.

New openings

Jambs to be formed from selected downtakings and bedded in lime mortar. Tooled face stone lintels, mullions and cills to be used where these are to be exposed.

Walls to be externally finished with through coloured harl with the exception of the front elevation, which is to be fair faced stone as existing.

Ground Floor:

Floor slab formed with 150mm concrete on damp proof membrane on blinding.

Roof:

Roof timbers to be placed to match existing profile and sarked and felted to take selected/replacement slate. Junctions of all abutments dormer cheeks and valleys to be made good in code 5 lead and ridge to be formed in zinc on timber roll.

Chimneys:

Chimneys to be relined with stainless steel flexible liners.

Rainwater good:

Rainwater goods to be replaced with cast metal to match existing profile and finished in black.

Windows and doors:

Windows to be replaced with timber framed double glazed units to a similar profile and finished in white. Doors to be replaced with composite timber finished glazed units.

Internal works:

Internal wall linings, partitions and intermediate floor to be formed in timber frame, insulated to comply with current Building Standards.

Energy:

Heating to be designed to incorporate low to zero carbon technology.

REV	DATE	DESCRIPTION	DRN
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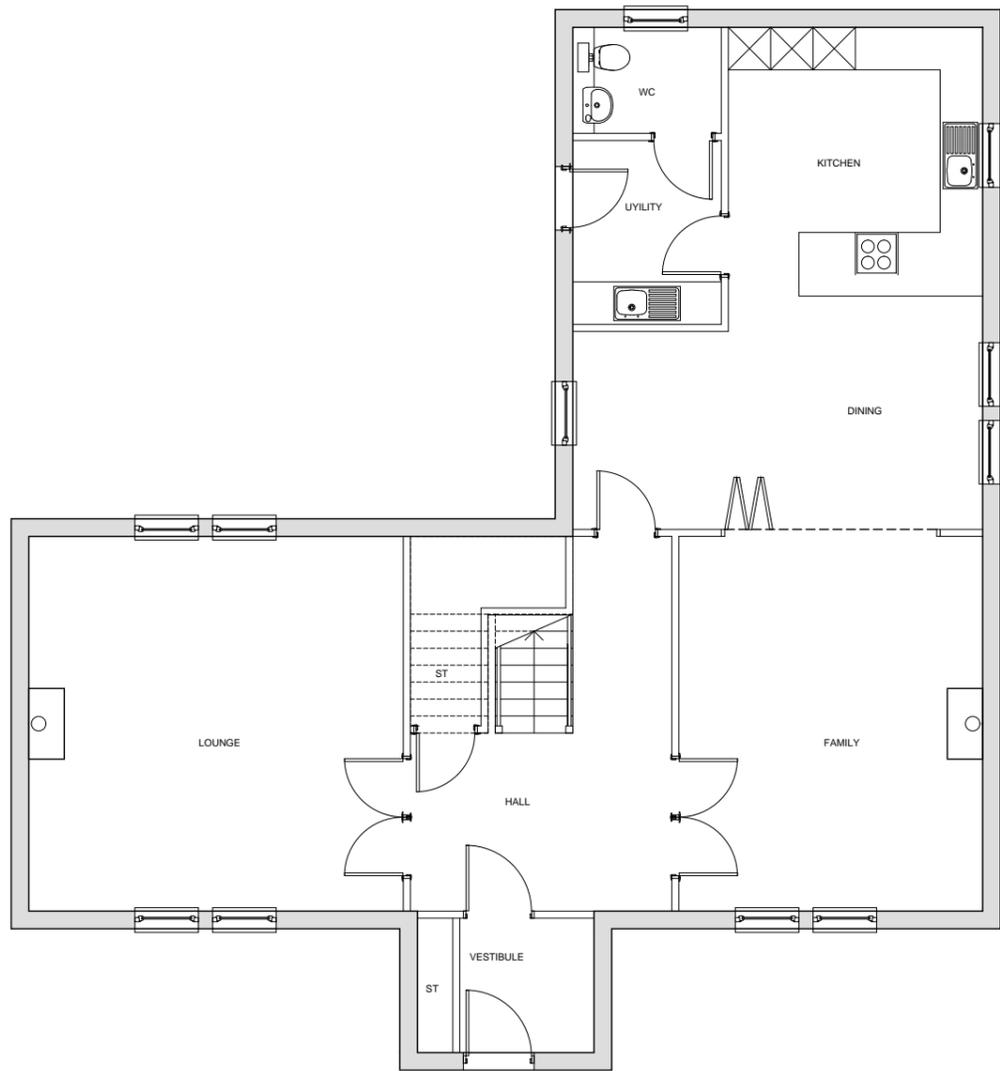
5 NESS BANK, INVERNESS, IV2 4SF
TEL: 01463 233760

HOUSING DEVELOPMENT
DALFABER FARM, AVIEMORE

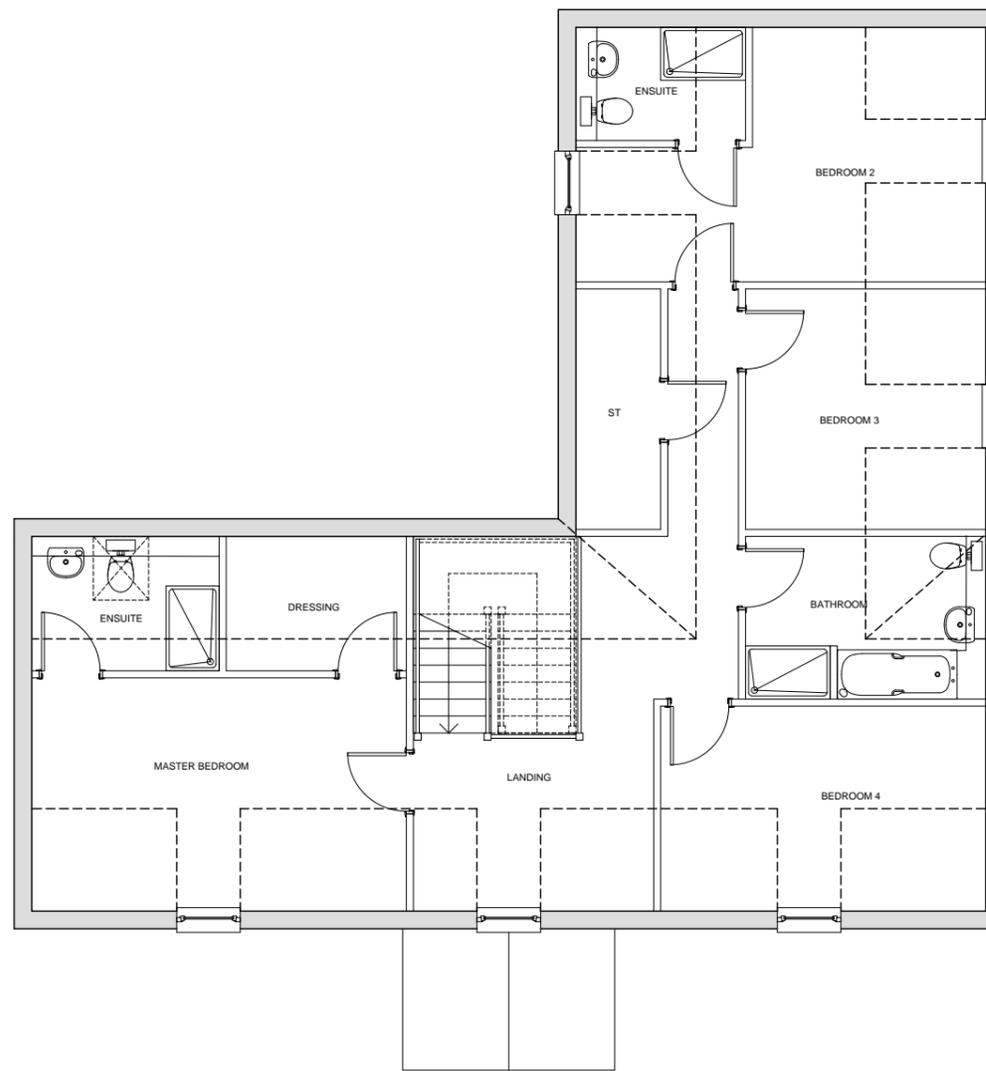
TITLE
ELEVATIONS PROPOSED
PLOT 40

SCALE	DATE	BY	AB
AS SHOWN	28/11/2017		
PURPOSE	PLANNING	PAPER	A3

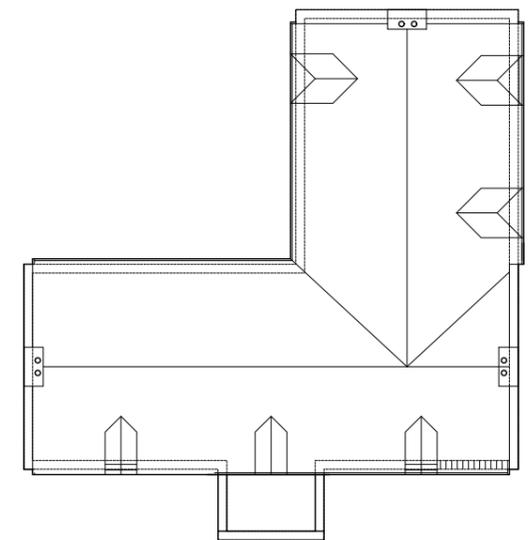
DWG NO.-REV
3920 / K2 / 02-24



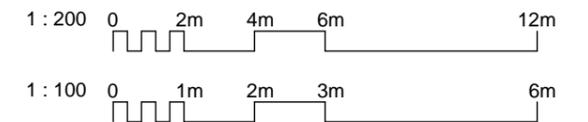
GROUND FLOOR PLAN
(Scale 1:100@A3)
NIA: 132 sq.m
Total: 164 sq.m



FIRST FLOOR PLAN
(Scale 1:100@A3)
NIA: 132 sq.m
Total: 164 sq.m



ROOF PLAN (Scale 1:200@A3)



Description of Proposed Works

INITIAL SURVEY

Bat Licence

No activities may be undertaken within the vicinity of the farmhouse which may disturb bats, without a licence having been secured from SNH.

Prior to any works or secondary surveys commencing within the curtilage of the existing farmhouse, a full bat roost survey is to be carried out and a report prepared outlining the findings, identifying any necessary mitigation, should there be evidence of existing roosts. Thereafter an application for a licence is to be submitted to Scottish Natural Heritage.

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HOUSING DEVELOPMENT
DALFABER FARM, AVIEMORE

TITLE
PLANS PROPOSED
PLOT 40

SCALE	DATE	BY	AB
AS SHOWN	28/11/2017	AB	AB
	PURPOSE	PAPER	A3
	PLANNING	PAPER	A3

DWG NO.-REV
3920 / K2 / 02-25