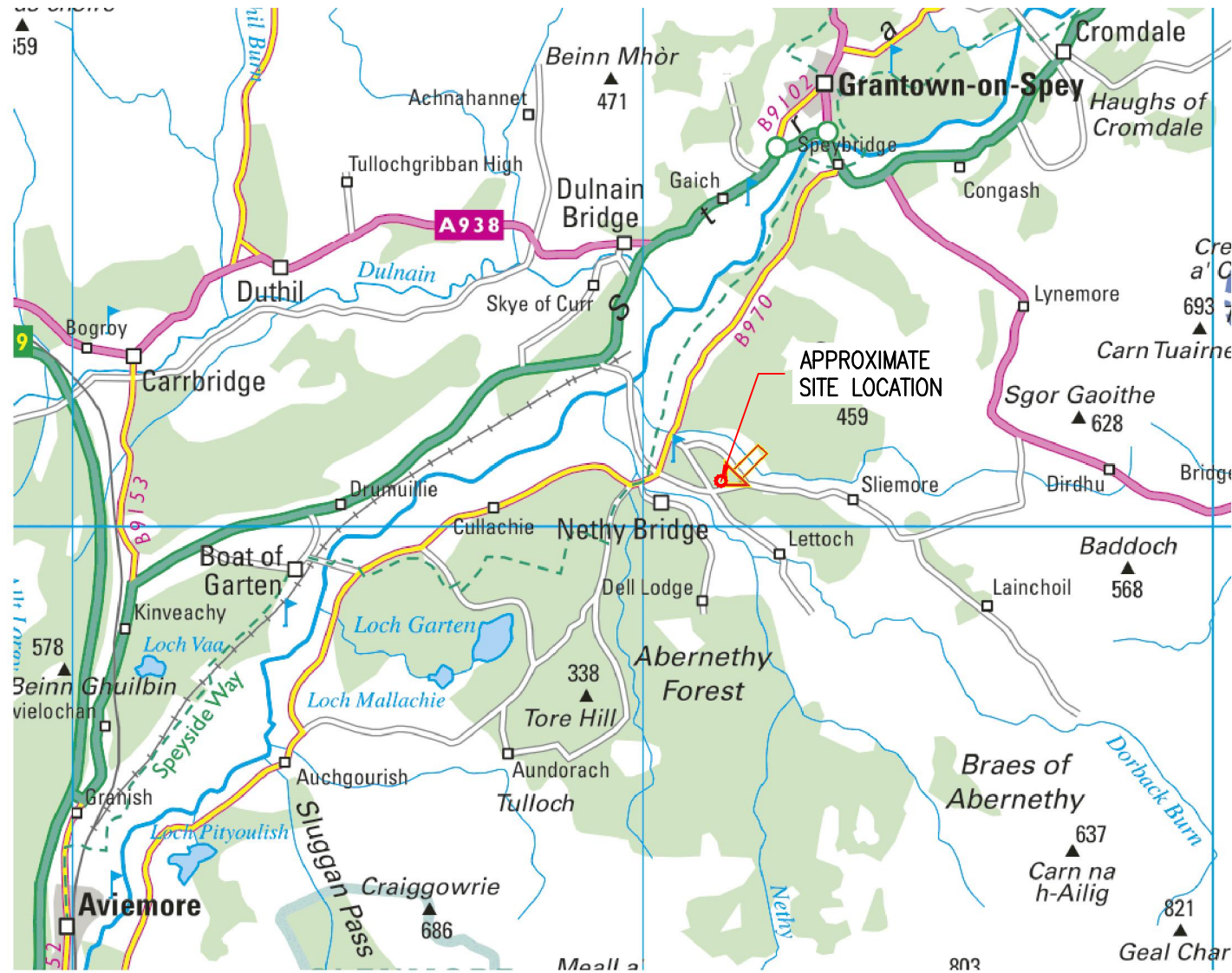


# **AGENDA ITEM 5**

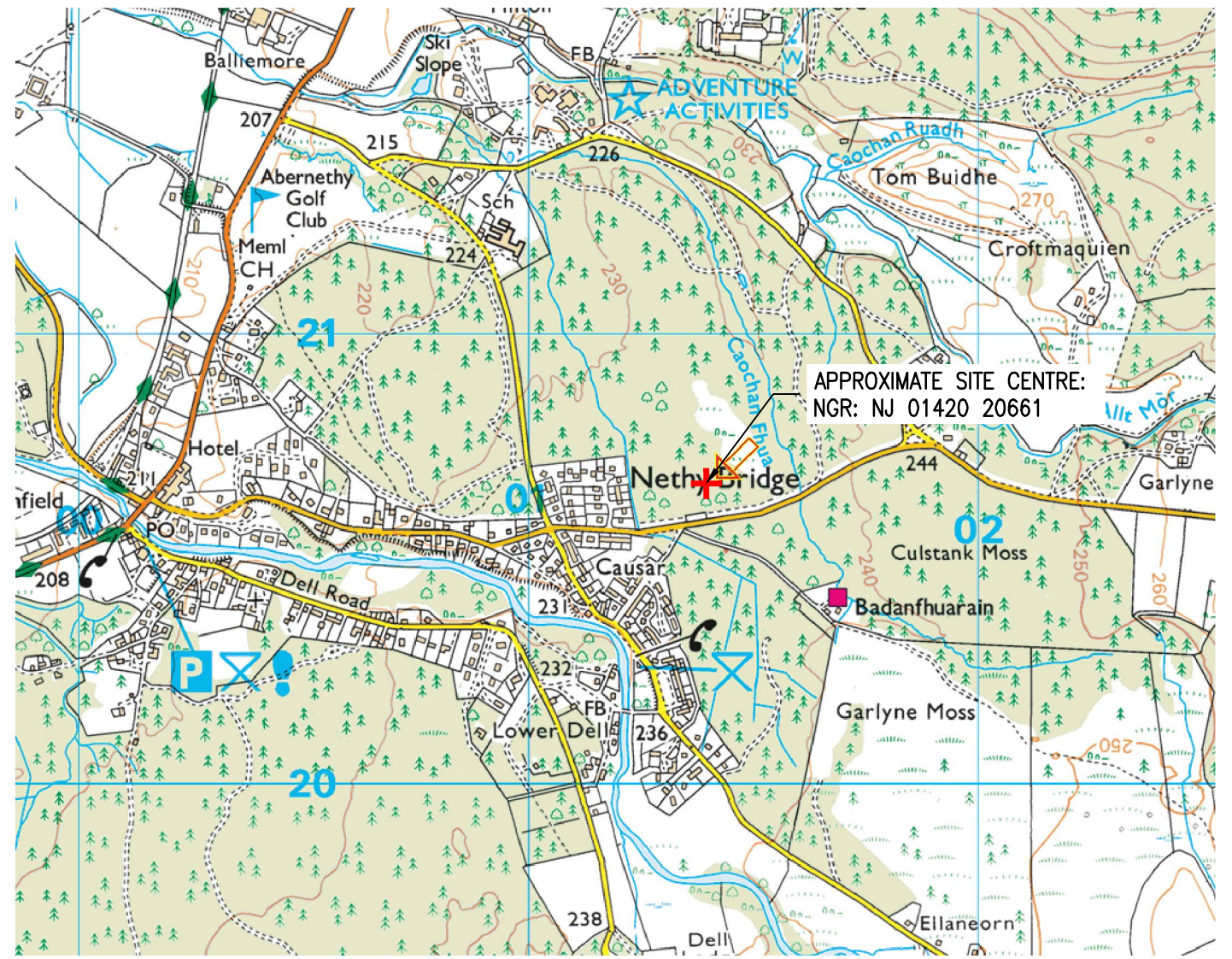
## **APPENDIX I**

**2020/0064/PPP**

**PLANS**



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This site includes mapping data licenced from Open Street Map, Ordnance Survey & Bartholomew.

SITE NGR: NJ 01420 20661

Client:  
CASTLEGLLEN  
PROPERTIES  
(ABERDEEN) LTD

Project Title:  
HOUSING DEVELOPMENT  
ADJACENT TO CRAIGMORE ROAD  
NETHY BRIDGE

**FAIRHURST**

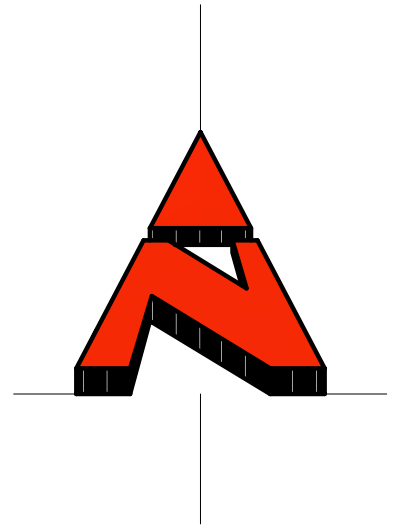
Elvie House,  
Beechwood Business Park, INVERNESS, N2 3BW  
Tel: 01463 724 544 Fax: 0844 381 4412

Scale at A3: N.T.S	Status: INFORMATION	
Drawn: CM	Checked: DE	Approved: ARM
Date: 05/02/2020	Date: 07/02/2020	Date: 07/02/2020

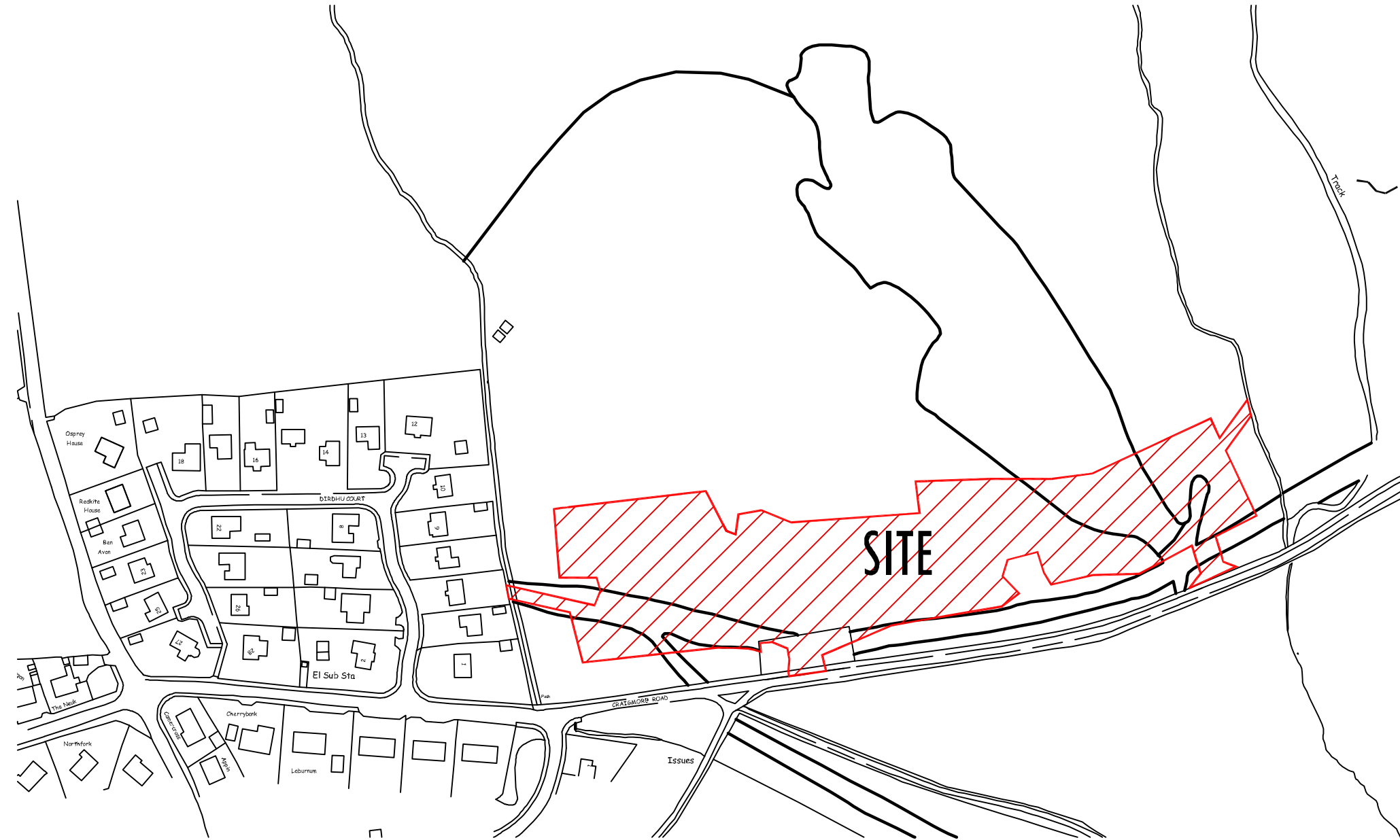
Drawing Title:  
SITE LOCATION PLAN

Drawing No.:  
70599/200

Rev.	Date	Description	Drawn	Checked	Approved



# Location Plan 1:2500



**kenmathieson**  
 ARCHITECTURAL DESIGN  
 & DEVELOPMENT CONSULTANT  
 LTD.

MANSARD HOUSE  
 15 OLDMELDRUM ROAD  
 BUCKSBURN  
 ABERDEEN  
 AB21 9AD  
 TEL: 01224 710357  
 FAX: 01224 710358

E-MAIL: [info@kenmathieson.com](mailto:info@kenmathieson.com)

**DOMESTIC, COMMERCIAL & INDUSTRIAL**

Client	CastleGlen Properties (Aberdeen) Ltd			
Project	Proposed Development Craigmore Road, Nethy Bridge Strathspey.			
Title	Location Plan			
Scale	As Shown	Date	Oct 19	Drawn by CG
JobNo	2408	DrgNo	PL02	Issue A

Limited Company Registered in Scotland No.229653

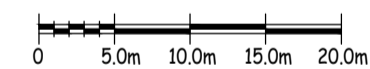
© Drawing Copyright of Ken Mathieson Architectural Design Ltd.

All Dimensions to be checked & Confirmed on Site PRIOR to commencement of any works & any discrepancies to be reported back to Project Co-ordinator for Decision. All Works & Materials to comply fully with all current British Standards (&/or Any European Standards if Relevant), Codes of Practice & All necessary Safety Acts.



**Proposed Indicative Site Layout**

Scale 1:500



Amendments	Date
A First Issue	Oct 19
B Client Amendments	Nov 19
C Client Amendments	Dec 19
D Client Amendments	Jan 20
E Client Amendments	Jan 20
F Site Updated	Jan 20
G Planning in Principle Application	Feb 20

**kenmathieson**  
 ARCHITECTURAL DESIGN  
 & DEVELOPMENT CONSULTANT  
 LTD.  
 MANSARD HOUSE  
 15 OLDMELDRUM ROAD  
 BUCKSBURN  
 ABERDEEN  
 AB21 9AD  
 TEL: 01224 710357  
 FAX: 01224 710358  
 E-MAIL: info@kenmathieson.com

**DOMESTIC, COMMERCIAL & INDUSTRIAL**

Client: CastleGlen Properties (Aberdeen) Ltd

Project: Proposed Development  
 Craigmore Road, Nethy Bridge  
 Strathspey.

Title: Proposed Indicative Site-Layout Plan  
 & Location Plan

Scale	As Shown	Date	Oct 19	Drawn by	CG
JobNo	2408	Drawn by	PL01	Issue	G

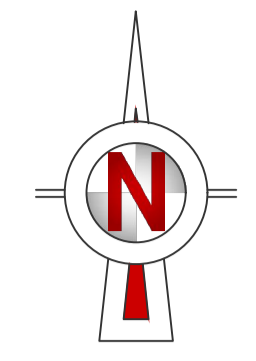
**SAFETY HEALTH AND ENVIRONMENTAL INFORMATION**

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

**CONSTRUCTION:**  
Discovery of un-charted services.  
Existing SSEN overhead electricity passes through the development boundary.

Do not scale from this drawing.



- NOTES:**
1. For proposed roads layout please refer to Fairhurst drawing no. 70599/202.
  2. For proposed extent of Highland Council adoptable areas, refer to Fairhurst drawing no.70599/204.
  3. Existing road and drainage tie-in levels to be checked on site by contractor and confirmed to engineer prior to commencement of works.
  4. Housing plan adopted from Ken Mathieson Architectural Design Proposed Indicative Site Layout Plan job no. 2408, drawing no. PL01.
  5. Boundary lines shown on plan are indicative only and should not be used for the purpose of producing Feu plans.
  6. Refer to Architects drawing for site & plot boundaries, existing tree survey and proposed landscaping.

Client:  
**CASTLEGLLEN PROPERTIES (ABERDEEN) LTD**

Project Title:  
**HOUSING DEVELOPMENT ADJACENT TO CRAIGMORE ROAD NETHY BRIDGE**

<b>FAIRHURST</b>	
Elvie House, Beechwood Business Park, INVERNESS, IV2 3BW Tel: 01463 724 544 Fax: 0844 381 4412	
Scale at A1: 1:500	Status: PLANNING APPROVAL
Drawn: CM	Checked: DE
Date: 05/02/2020	Date: 07/02/2020
Approved: ARM	Date: 07/02/2020
Drawing No.: 70599/201	Revision:

Rev.	Date	Description	Drawn	Checked	Approved

**SAFETY HEALTH AND ENVIRONMENTAL INFORMATION**

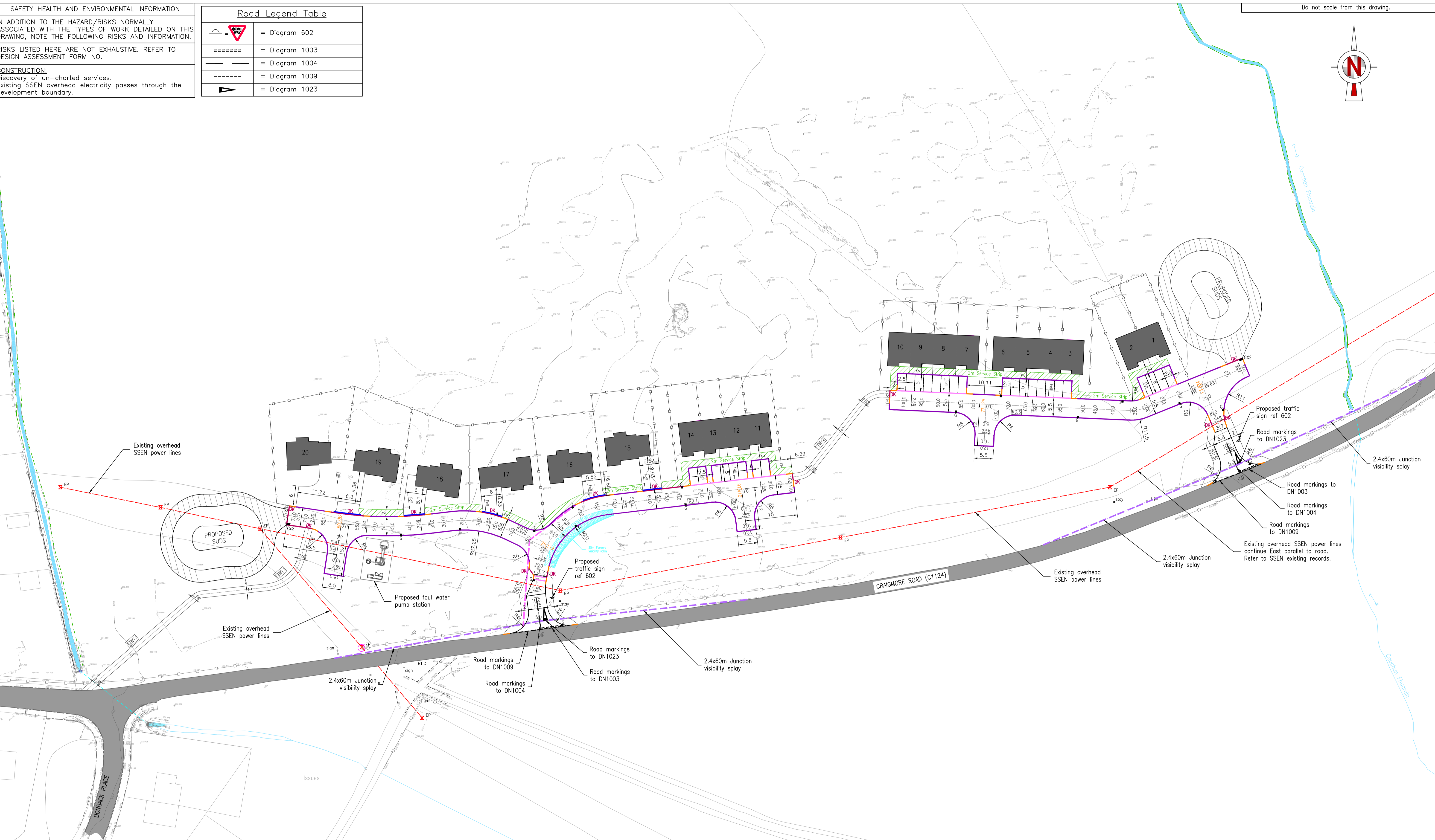
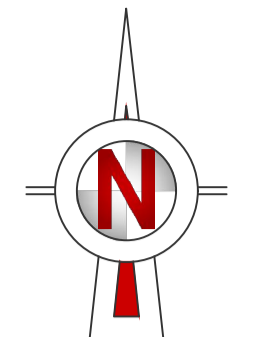
IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

**CONSTRUCTION:**  
Discovery of un-charted services.  
Existing SSEN overhead electricity passes through the development boundary.

Road Legend Table	
	= Diagram 602
	= Diagram 1003
	= Diagram 1004
	= Diagram 1009
	= Diagram 1023

Do not scale from this drawing.



Rev.	Date	Description	Drawn	Checked	Approved

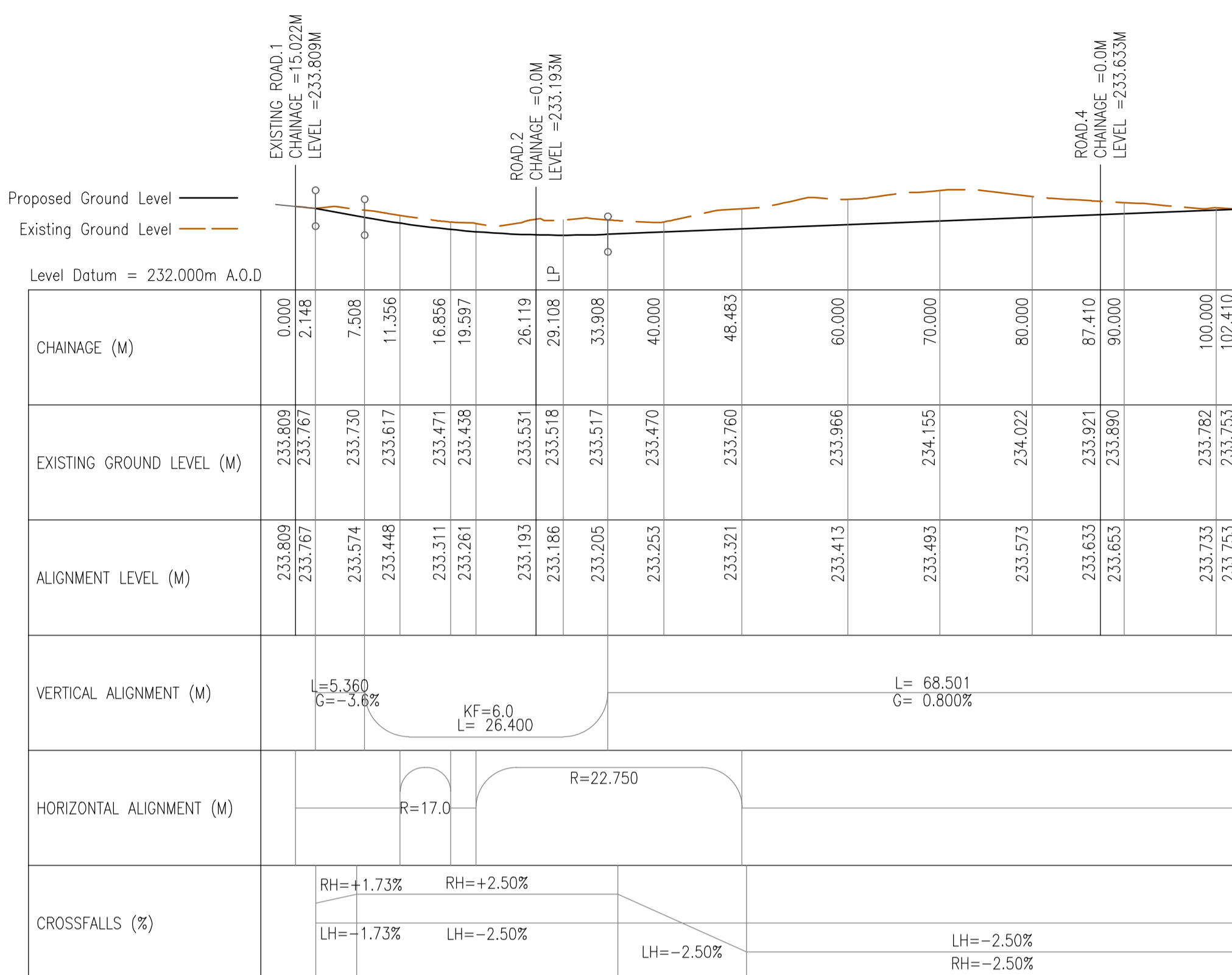
- LEGEND:**
- Proposed 255mmx125mm half battered kerb 100mm upstand
  - Proposed 255mmx125mm half battered kerb 55mm upstand
  - Proposed 175x125mm bullnose drop-kerb laid flush
  - Proposed HPPC dropper Kerb transition
  - Proposed 175x125mm bullnose drop-kerb 6/20mm upstand
  - Proposed back of footpath
  - Proposed 2m grassed service strip
  - Proposed 2.4mx25m junction visibility splays
  - Proposed 2.4x60m junction visibility splays
  - Proposed road cross fall/camber gradient
  - Proposed road traffic sign
  - Proposed road water gully & connection
  - Proposed linear drainage channel
  - Approximate site boundary
- NOTES:**
- For proposed roads longitudinal sections please refer to Fairhurst drawing no. 70599/205.
  - For proposed extent of Highland Council adoptable areas, refer to Fairhurst drawing no.70599/204.
  - Existing road and drainage tie-in levels to be checked on site by contractor and confirmed to engineer prior to commencement of works.
  - Housing plan adopted from Ken Mathieson Architectural Design Proposed Indicative Site Layout Plan job no. 2408, drawing no. PL01.
  - Boundary lines shown on plan are indicative only and should not be used for the purpose of producing Feu plans.
  - Horizontal road alignment designed in accordance with The Highland Councils 'Roads and Transport Guidelines for New Developments'.
  - Road hierarchy for new street to be 'Minor Residential Street'.
  - All signing and road markings to be in accordance with the Traffic Signs Regulations and General Directions 2016.
  - Refer to architects drawing for site & plot boundaries, existing tree survey and proposed landscaping.

Client:  
**CASTLEGLLEN PROPERTIES (ABERDEEN) LTD**

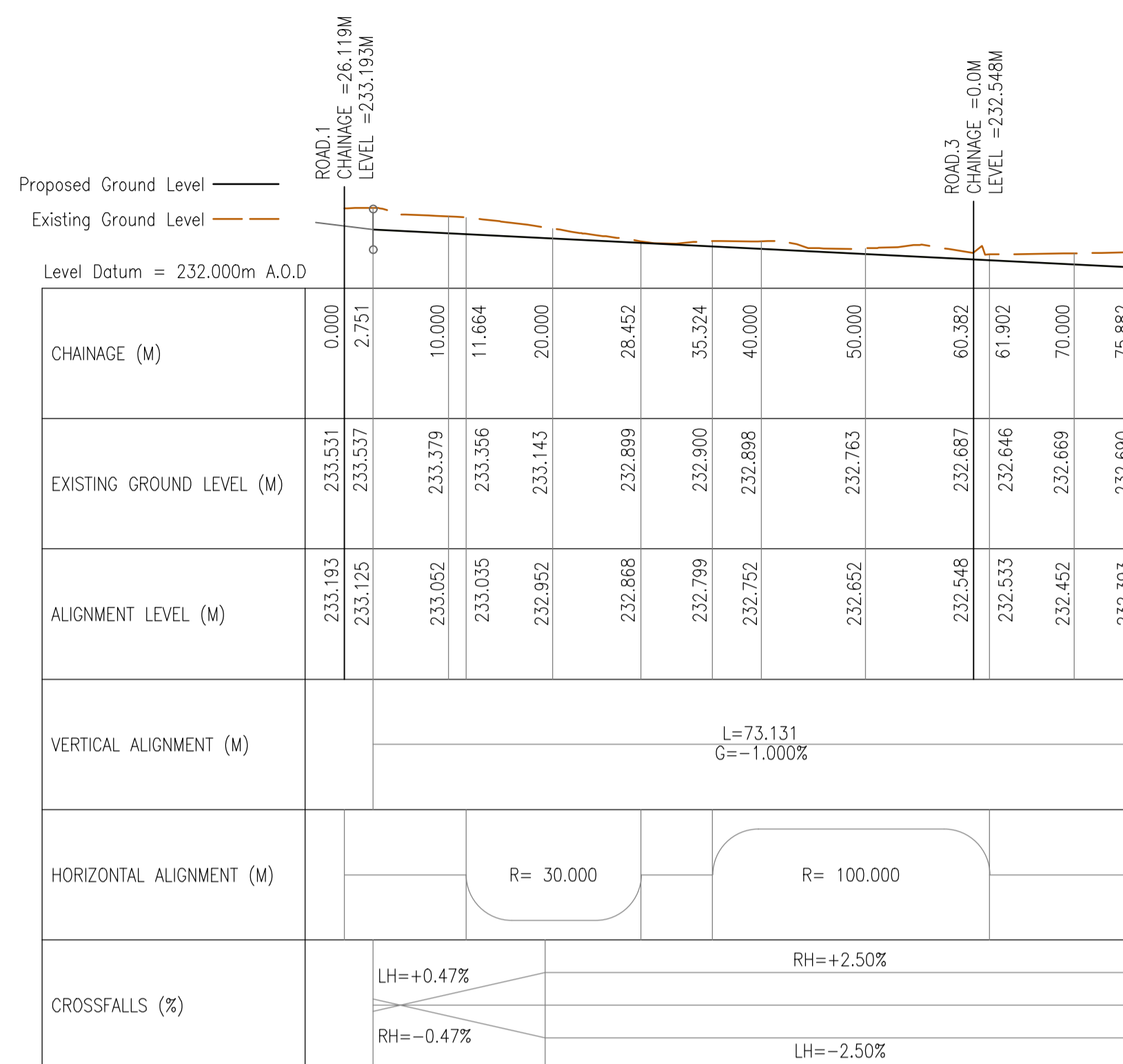
Project Title:  
**HOUSING DEVELOPMENT ADJACENT TO CRAIGMORE ROAD NETHY BRIDGE**

Drawing Title:  
**ROAD LAYOUT PLAN**

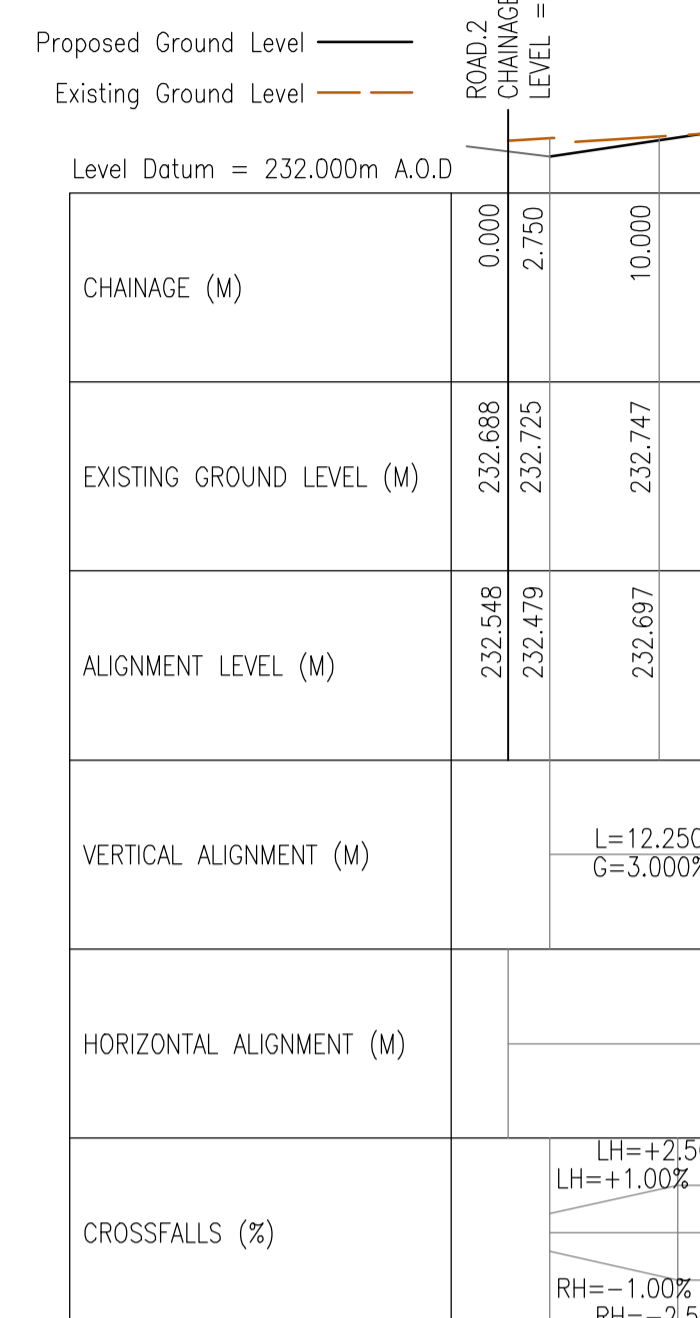
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		Drawn: CM	Checked: DE	Approved: ARM	
Date: 05/02/2020		Date: 07/02/2020		Date: 07/02/2020	
Drawing No.: 70599/202		Revision:			



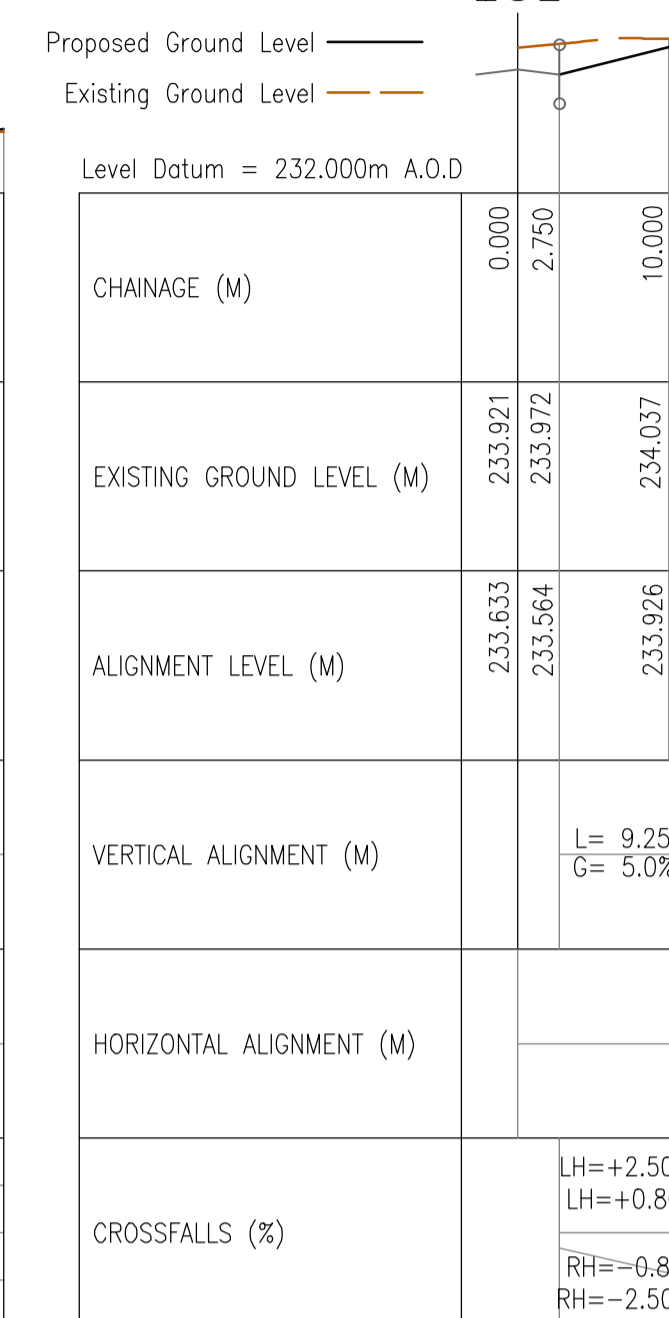
LONGITUDINAL SECTION THROUGH ROAD 1  
(SCALE: Horizontal 1:500, Vertical 1:100)



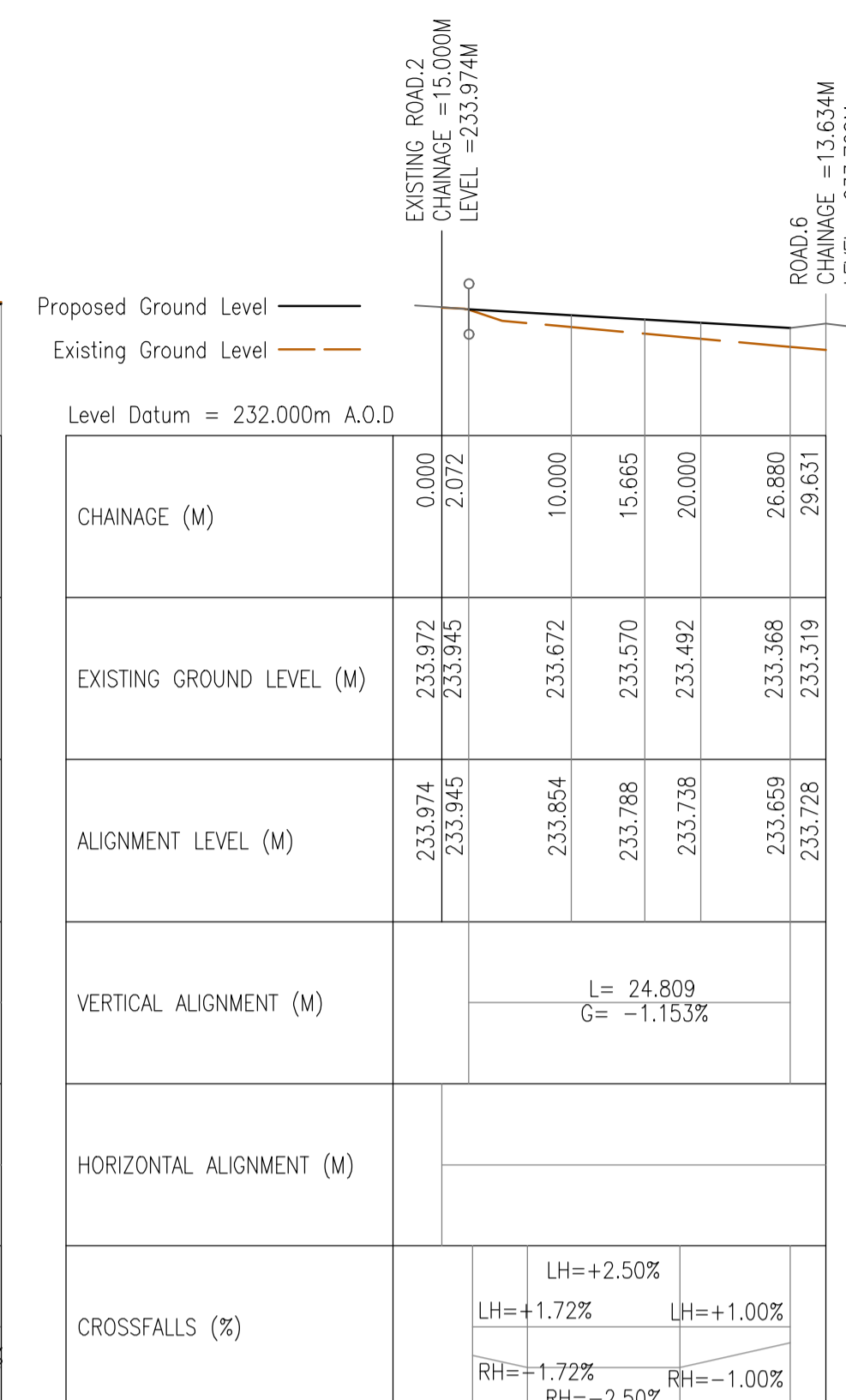
LONGITUDINAL SECTION THROUGH ROAD 2  
(SCALE: Horizontal 1:500, Vertical 1:100)



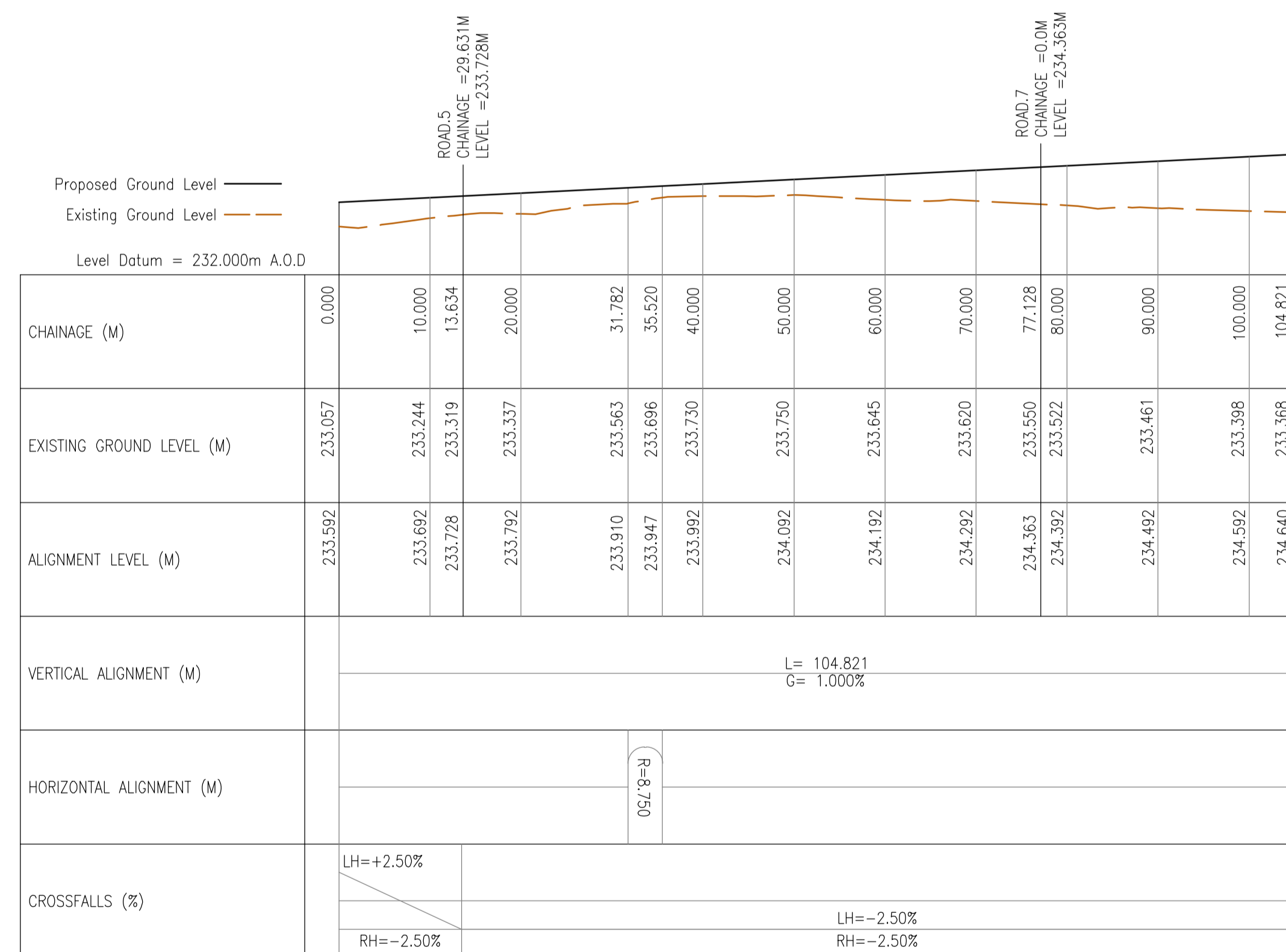
LONGITUDINAL SECTION THROUGH ROAD 3  
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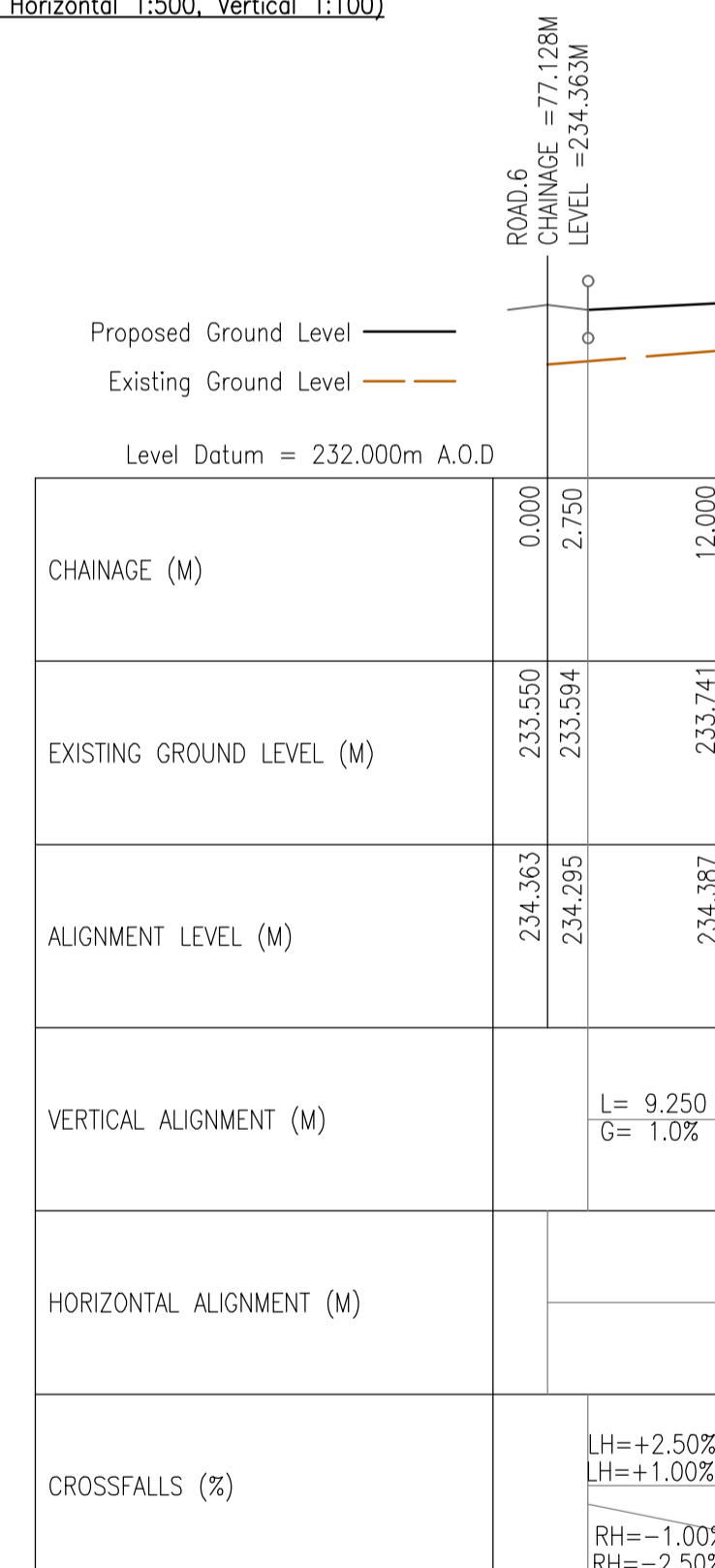
LONGITUDINAL SECTION THROUGH ROAD 4  
(SCALE: Horizontal 1:500, Vertical 1:100)



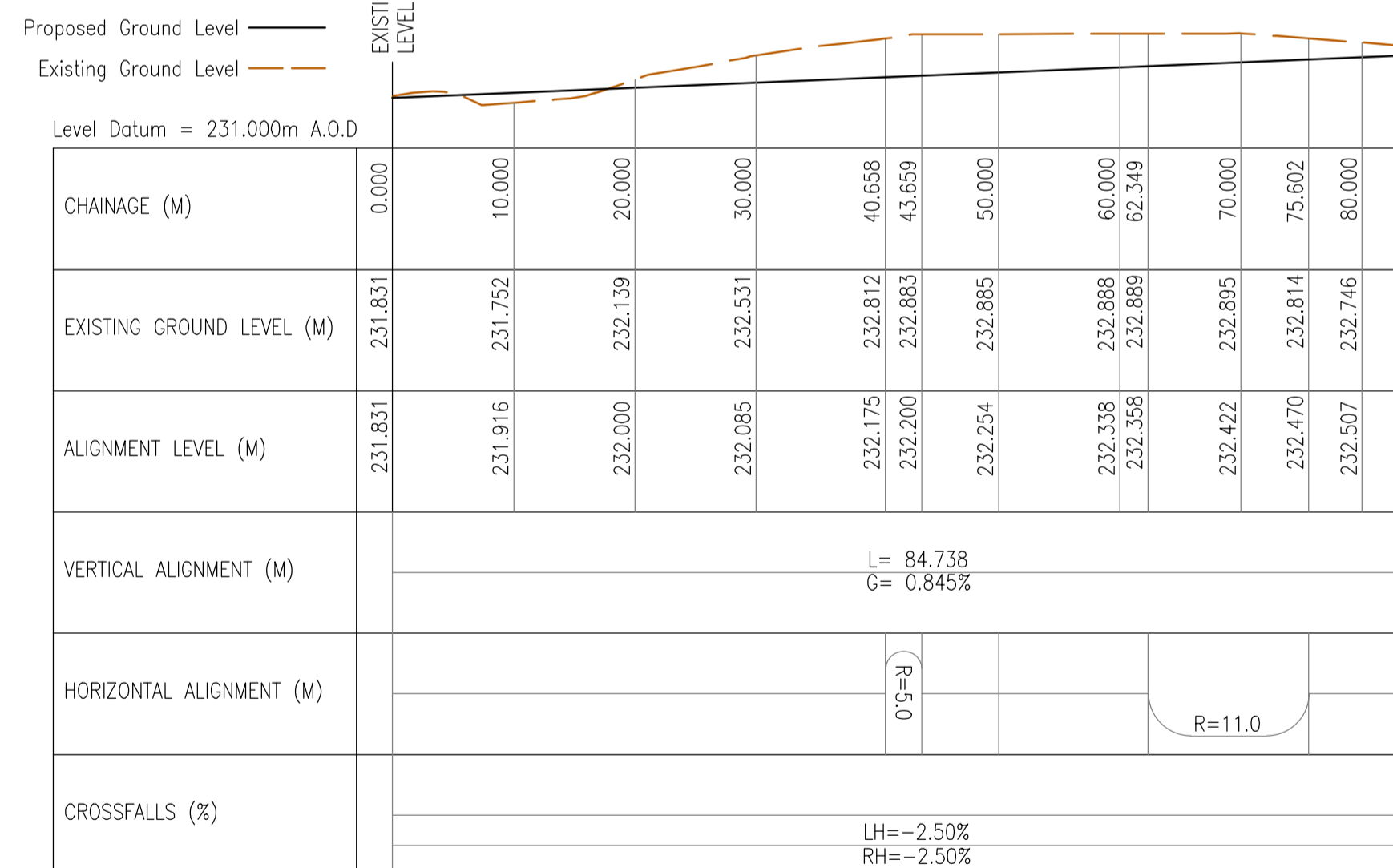
LONGITUDINAL SECTION THROUGH ROAD 5  
(SCALE: Horizontal 1:500, Vertical 1:100)



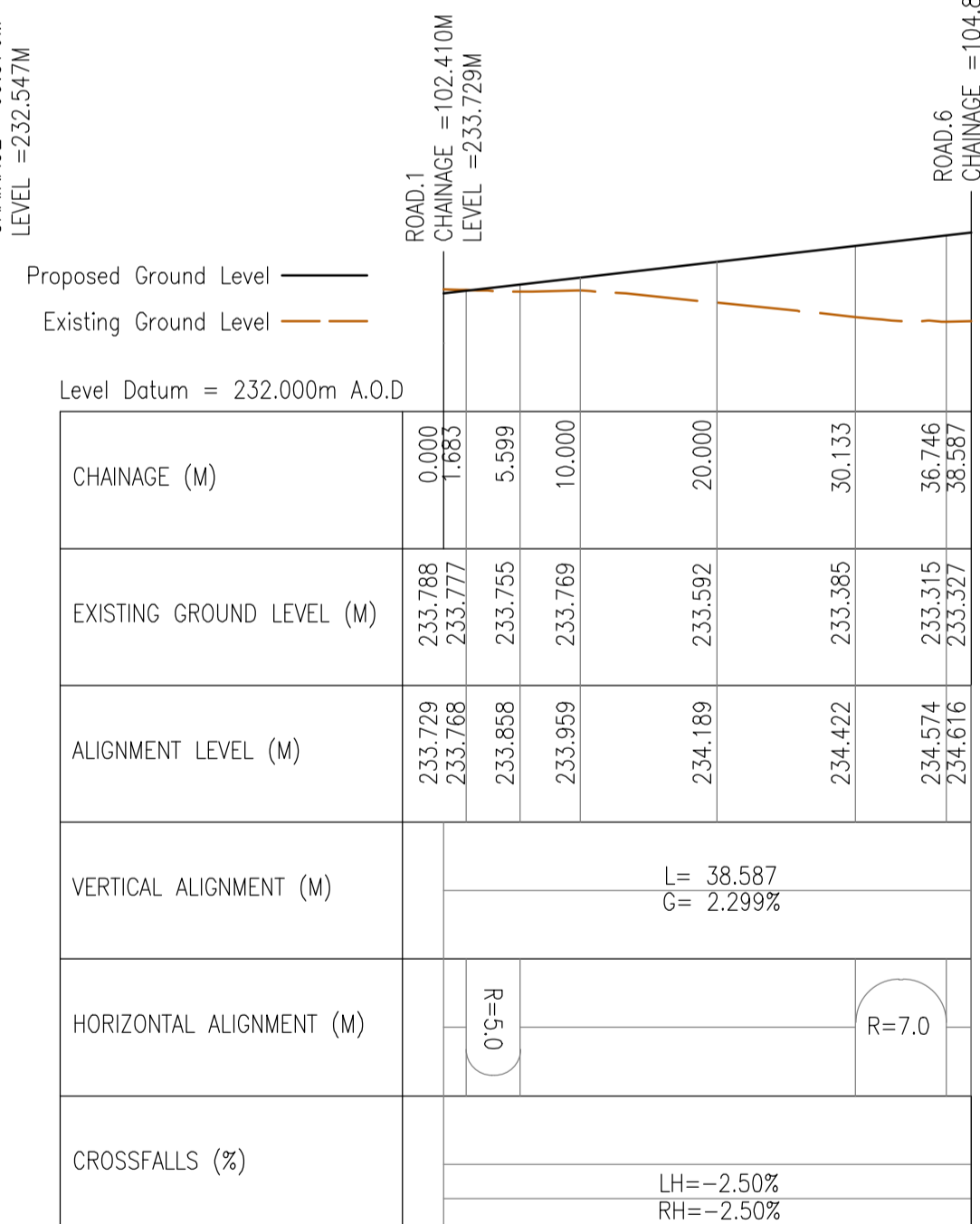
LONGITUDINAL SECTION THROUGH ROAD 6  
(SCALE: Horizontal 1:500, Vertical 1:100)



LONGITUDINAL SECTION THROUGH ROAD 7  
(SCALE: Horizontal 1:500, Vertical 1:100)



LONGITUDINAL SECTION THROUGH FOOTWAY 1  
(SCALE: Horizontal 1:500, Vertical 1:100)



LONGITUDINAL SECTION THROUGH FOOTWAY 2  
(SCALE: Horizontal 1:500, Vertical 1:100)

NOTES:  
1. For proposed roads layout please refer to Fairhurst drawing no. 70599/202.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION  
IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

CONSTRUCTION:

Client:  
CASTLEGLLEN PROPERTIES (ABERDEEN) LTD

Project Title:  
HOUSING DEVELOPMENT ADJACENT TO CRAIGMORE ROAD NETHY BRIDGE

FAIRHURST

Etive House, Beechwood Business Park, INVERNESS, IV2 3BW  
Tel: 01463 724 544 Fax: 0844 381 4412

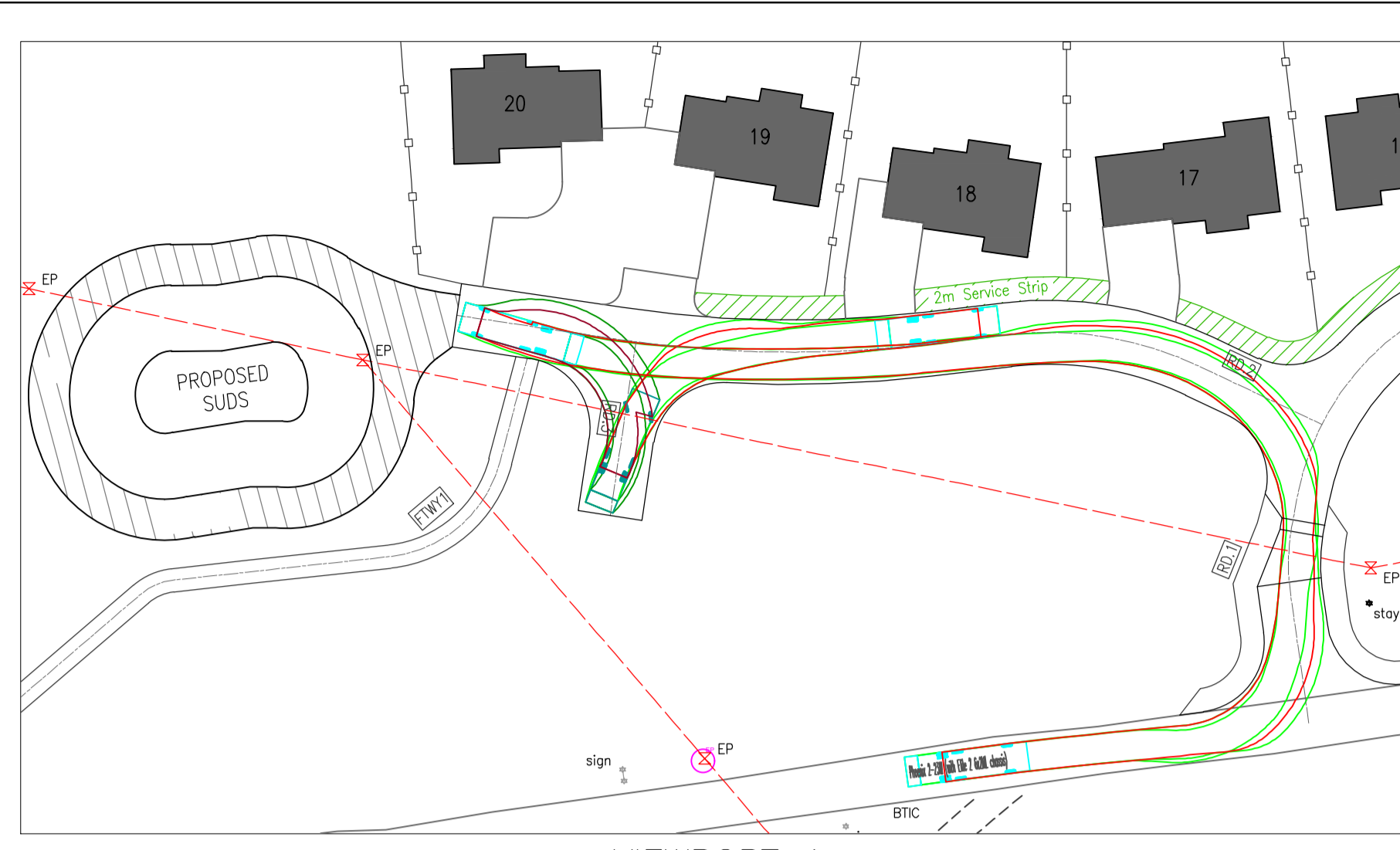
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Drawn: CM Checked: DE Approved: ARM

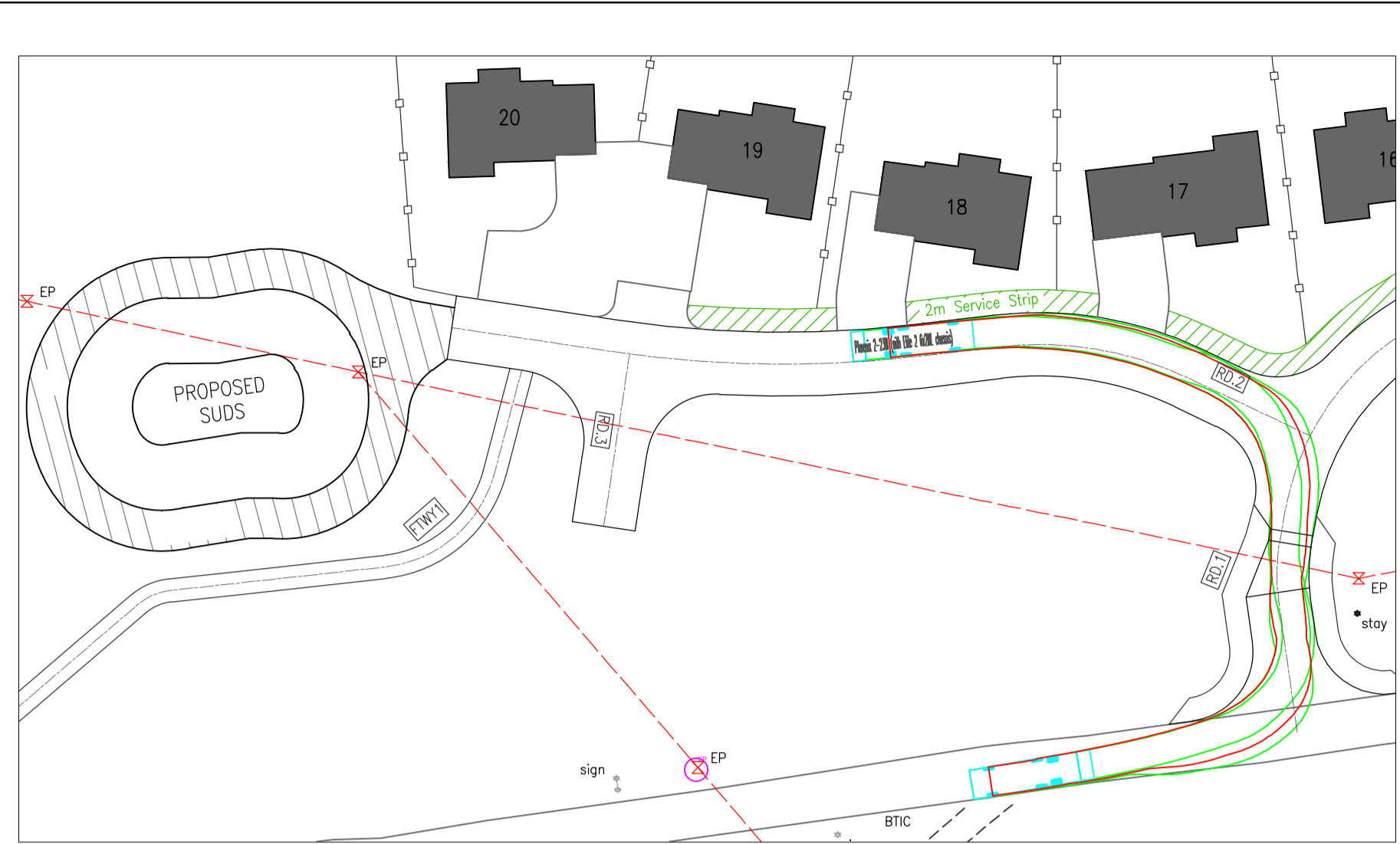
Date: 05/02/2020 Date: 07/02/2020 Date: 07/02/2020

Drawing No.: 70599/205 Revision:

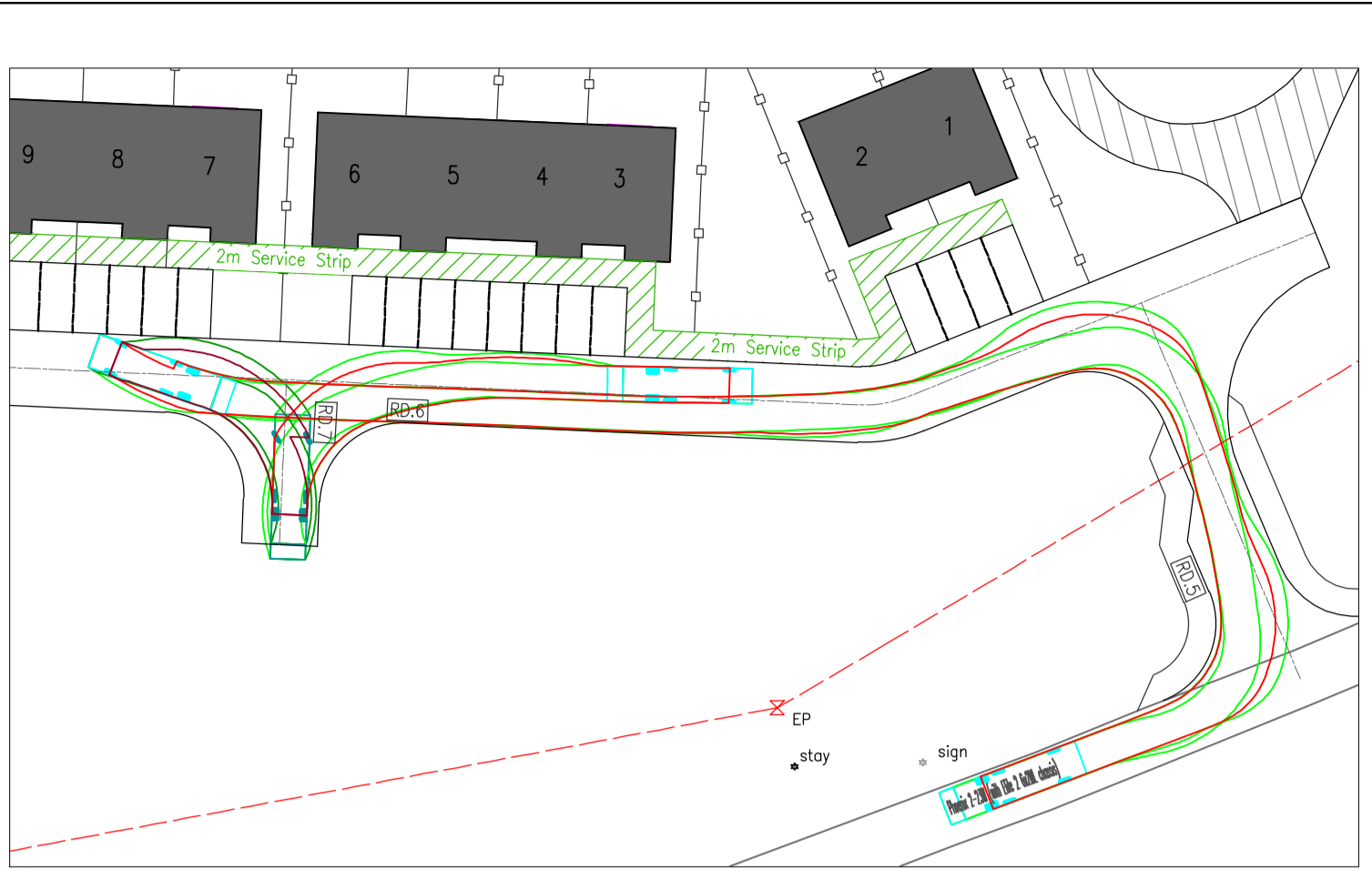
Rev.	Date	Description	Drawn	Checked	Approved



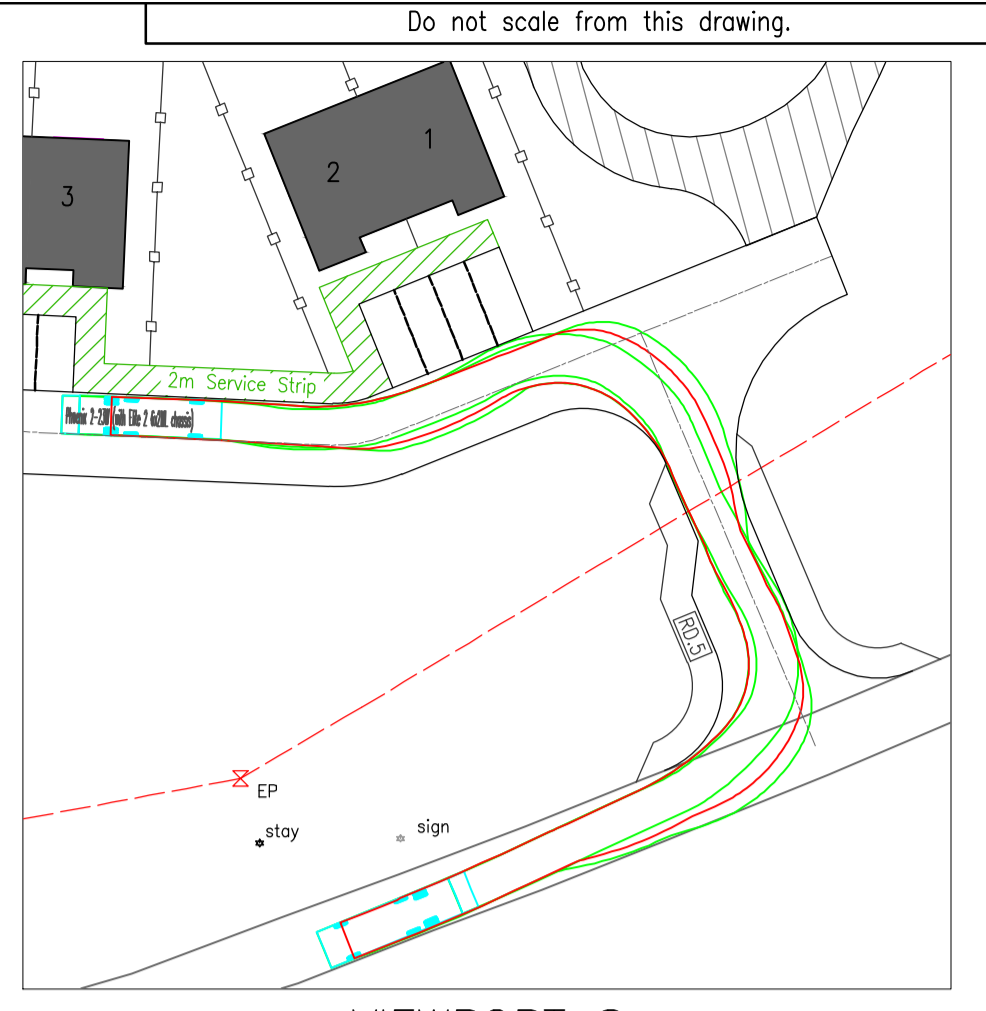
VIEWPORT 1  
REFUSE LORRY ENTERING ROAD 1 & 2 FROM WEST



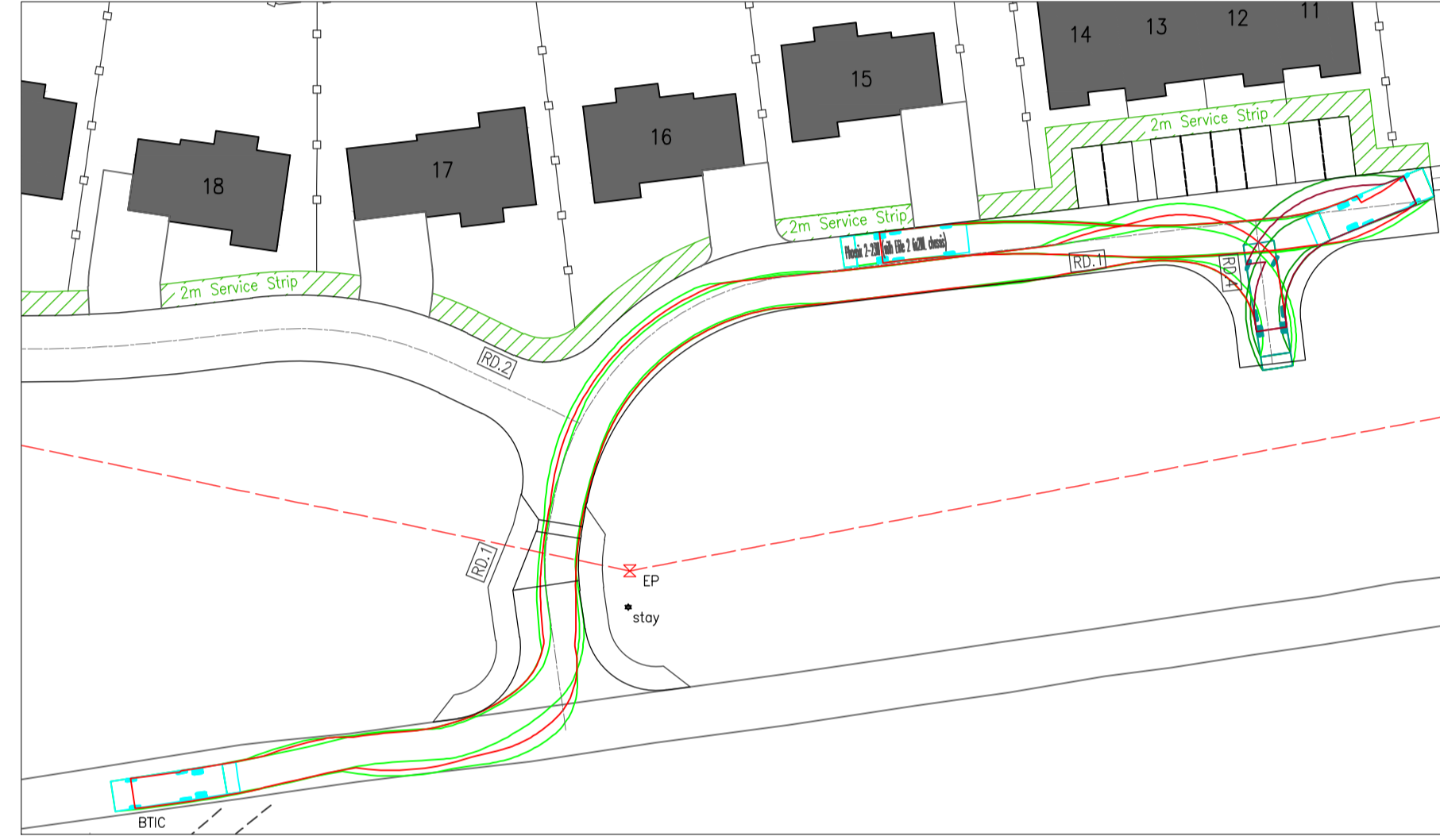
VIEWPORT 2  
REFUSE LORRY LEAVING ROAD 1 & 2 TO WEST



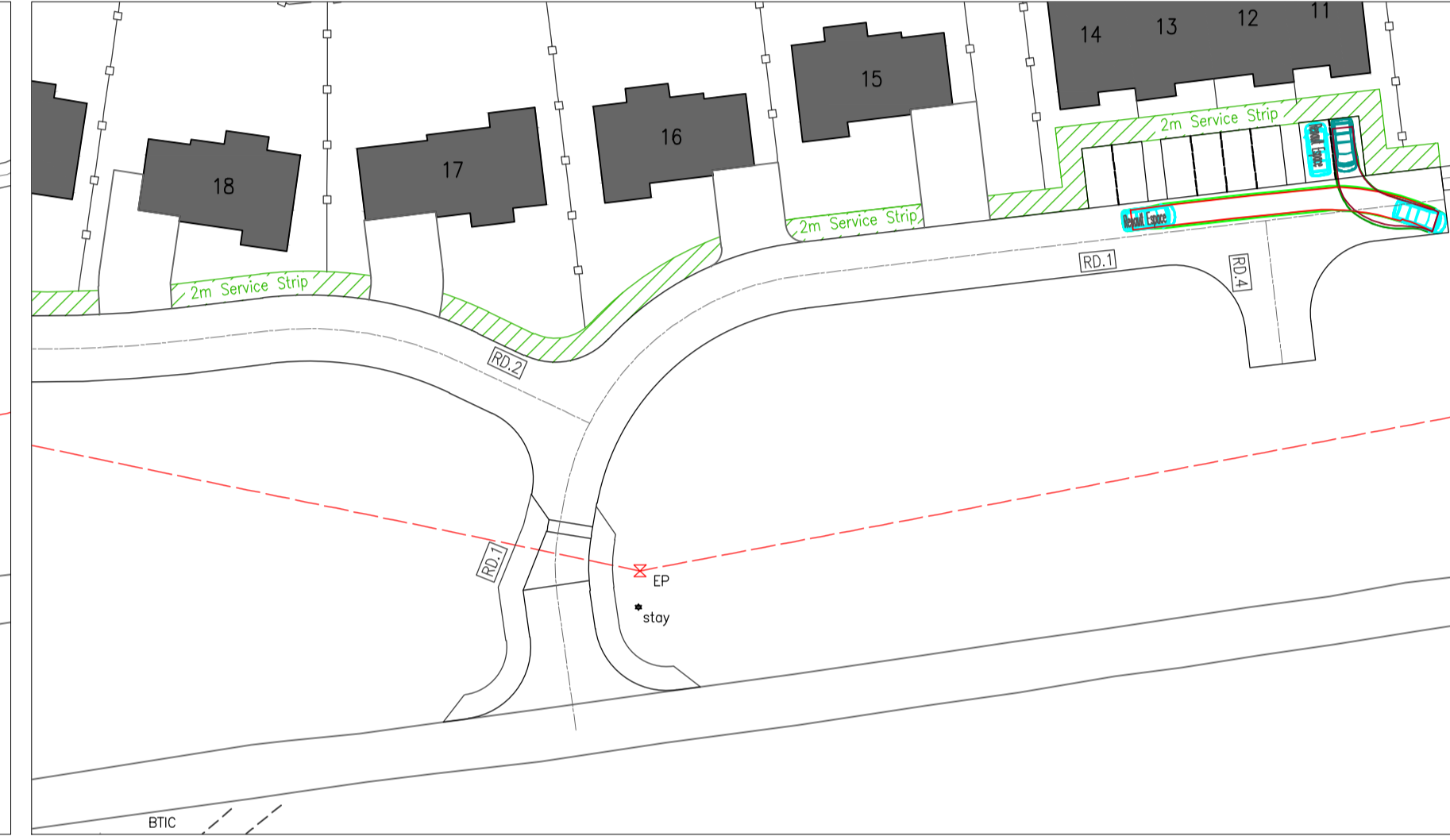
VIEWPORT 7  
REFUSE LORRY ENTERING ROAD 5 & 6 FROM WEST



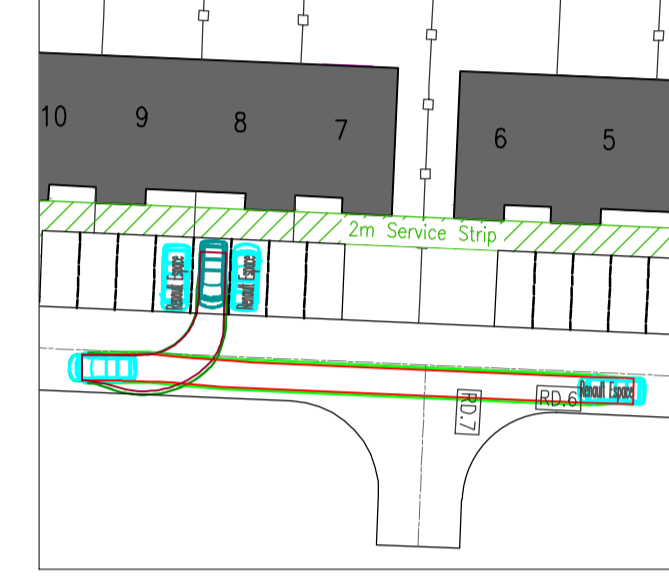
VIEWPORT 8  
REFUSE LORRY LEAVING ROAD 5 & 6 TO WEST



VIEWPORT 3  
REFUSE LORRY ENTERING & LEAVING ROAD 1 & 4



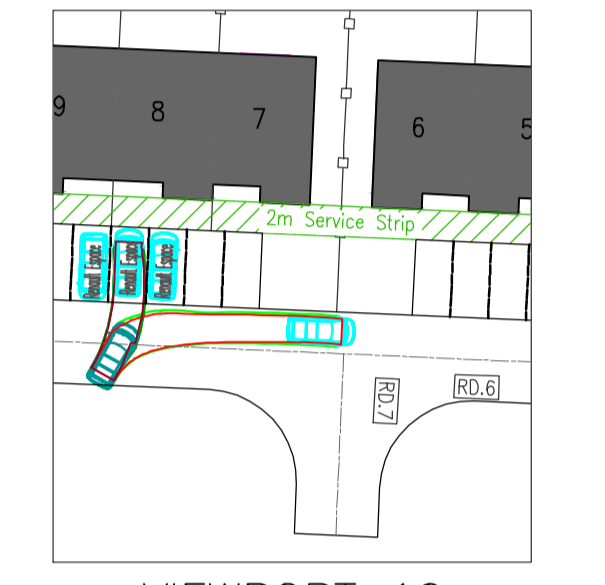
VIEWPORT 4  
RENAULT ESPACE REVERSE PARKING PLOT 11



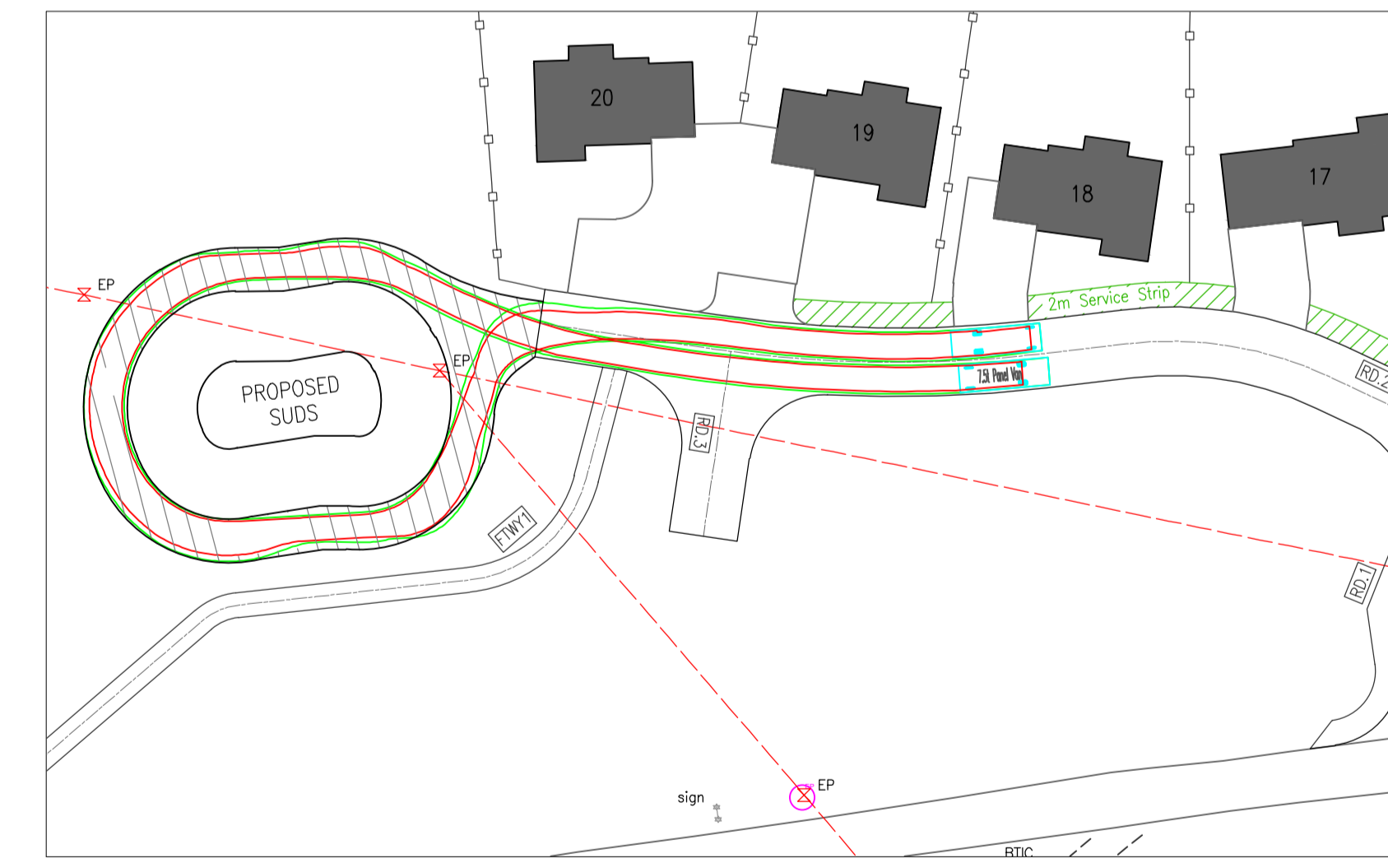
VIEWPORT 9  
RENAULT ESPACE  
REVERSE PARKING  
PLOTS 8 & 9



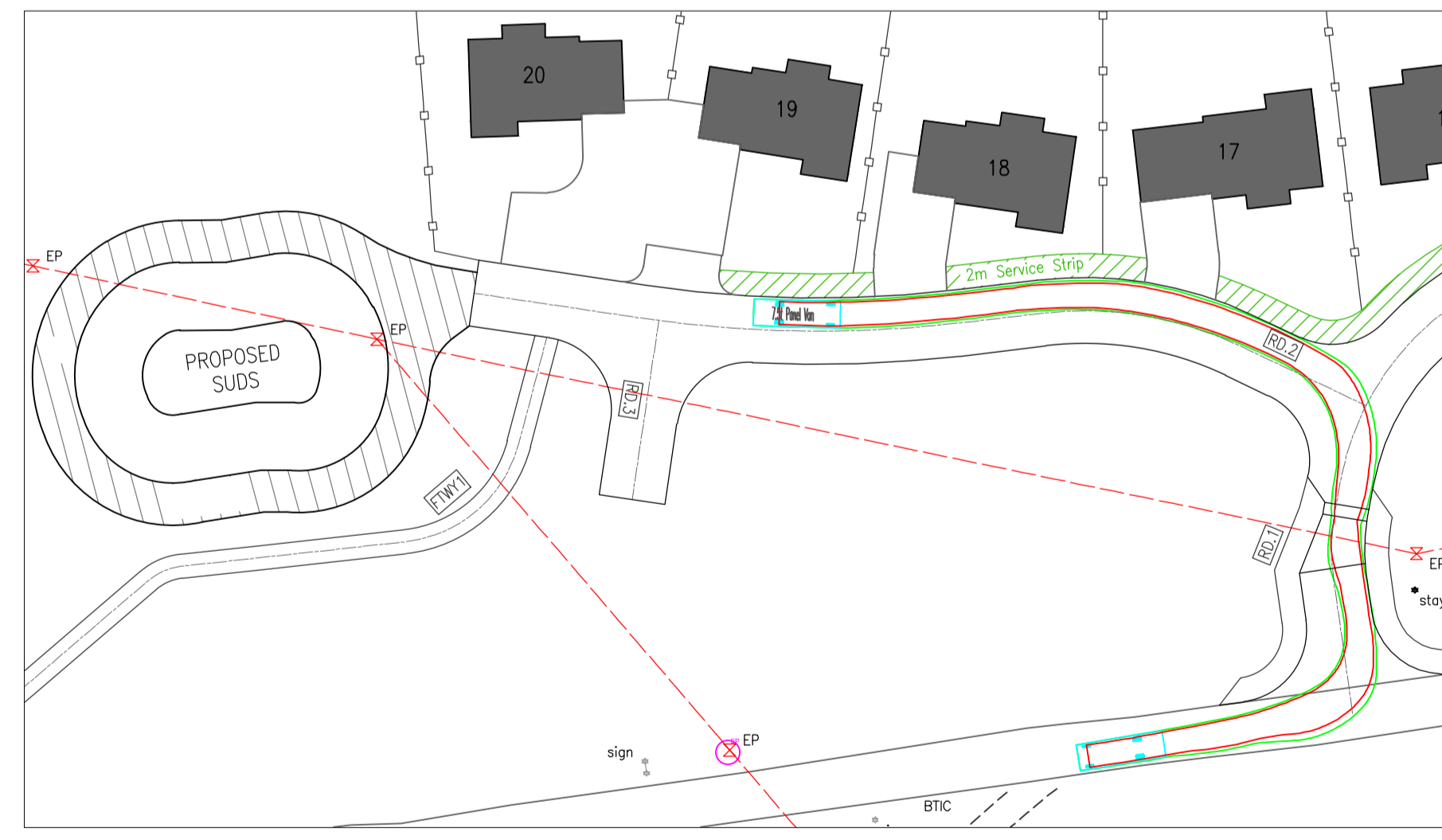
VIEWPORT 9  
RENAULT ESPACE  
PARKING ADJACENT TO  
PARKED CAR AT PLOT 8



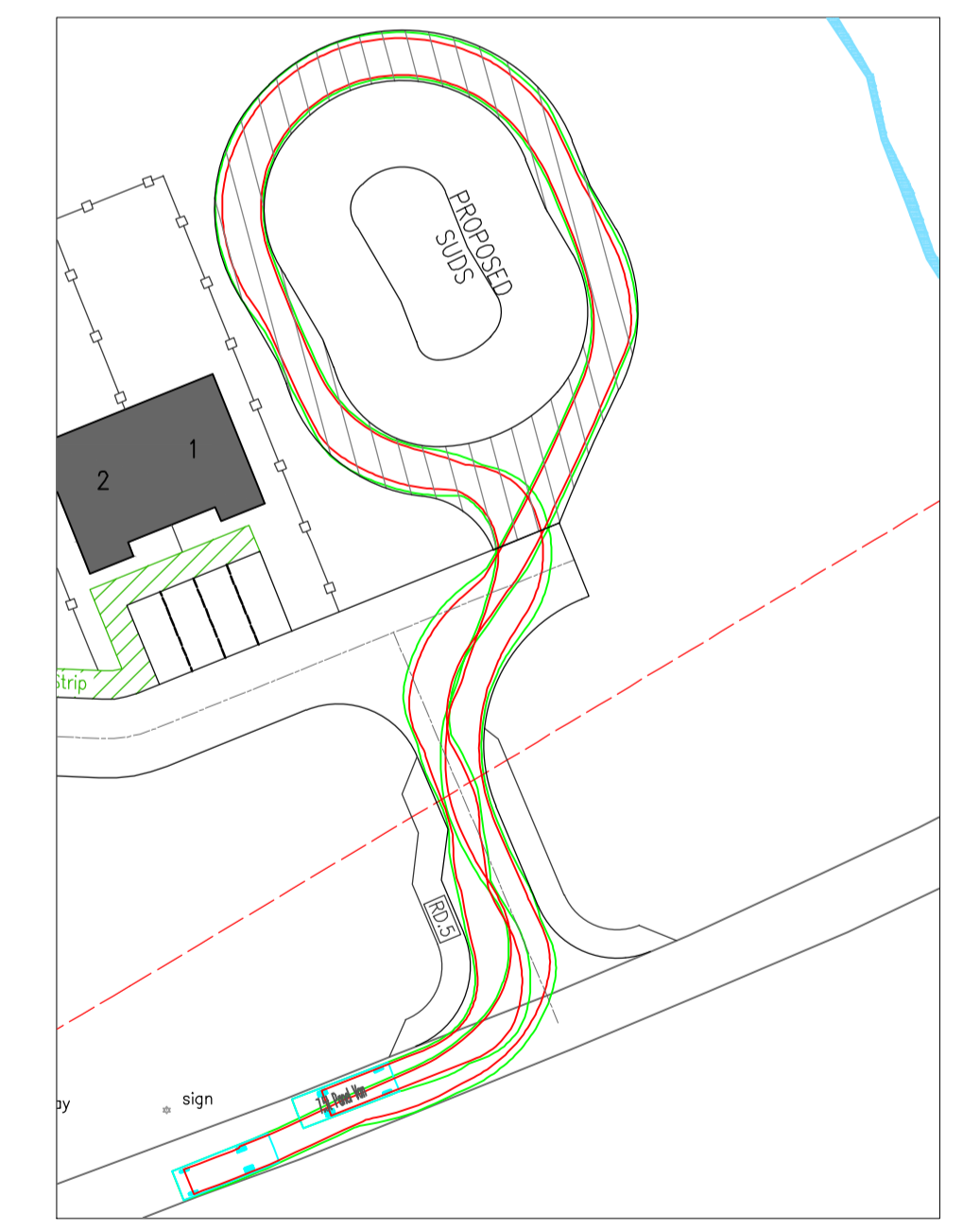
VIEWPORT 10  
RENAULT ESPACE  
PARKING ADJACENT TO  
PARKED CAR AT PLOT 9



VIEWPORT 5  
7.5T PANEL VAN ENTERING & LEAVING SUDS ACCESS TRACK



VIEWPORT 6  
7.5T PANEL VAN LEAVING ROAD 1



VIEWPORT 11  
7.5T PANEL VAN ENTERING & LEAVING SUDS ACCESS TRACK

VEHICLE LEGEND:

7.5T Panel Van  
Overall Length 7.210m  
Overall Width 2.192m  
Overall Body Height 3.271m  
Min. Body Ground Clearance 0.316m  
Track Width 1.865m  
Lock to lock time 4.00s  
Kerb to Kerb Turning Radius 7.400m

Phoenix 2-23W (with Elite 2 6x2ML chassis)  
Overall Length 10.520m  
Overall Width 2.530m  
Overall Body Height 3.271m  
Min. Body Ground Clearance 0.416m  
Track Width 2.530m  
Lock to lock time 4.00s  
Kerb to Kerb Turning Radius 10.250m

Renault Espace  
Overall Length 4.446m  
Overall Width 1.784m  
Overall Body Height 1.757m  
Min. Body Ground Clearance 0.257m  
Track Width 1.700m  
Lock to lock time 4.00s  
Kerb to Kerb Turning Radius 6.000m

NOTES:  
1. Refer to Fairhurst drawing no. 70599/202 for proposed roads layout plan.

LEGEND:  
— Vehicle Cab Overhang  
— Vehicle Wheel Tracks

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

CONSTRUCTION:  
Discovery of un-charted services.  
Existing SSEN overhead electricity passes through the development boundary.

Client:  
CASTLEGLLEN PROPERTIES (ABERDEEN) LTD

Project Title:  
HOUSING DEVELOPMENT ADJACENT TO CRAIGMORE ROAD NETHY BRIDGE

**FAIRHURST**

Elite House,  
Beechwood Business Park, INVERNESS, IV2 3BW  
Tel: 01463 724 544 Fax: 0844 381 4412

Scale at A1: 1:500	Status: PLANNING APPROVAL
Drawn: CM	Checked: DE
Date: 05/02/2020	Date: 07/02/2020
Approved: ARM	Date: 07/02/2020
Drawing No.: 70599/207	Revision:

Rev.	Date	Description	Drawn	Checked	Approved



**SAFETY HEALTH AND ENVIRONMENTAL INFORMATION**

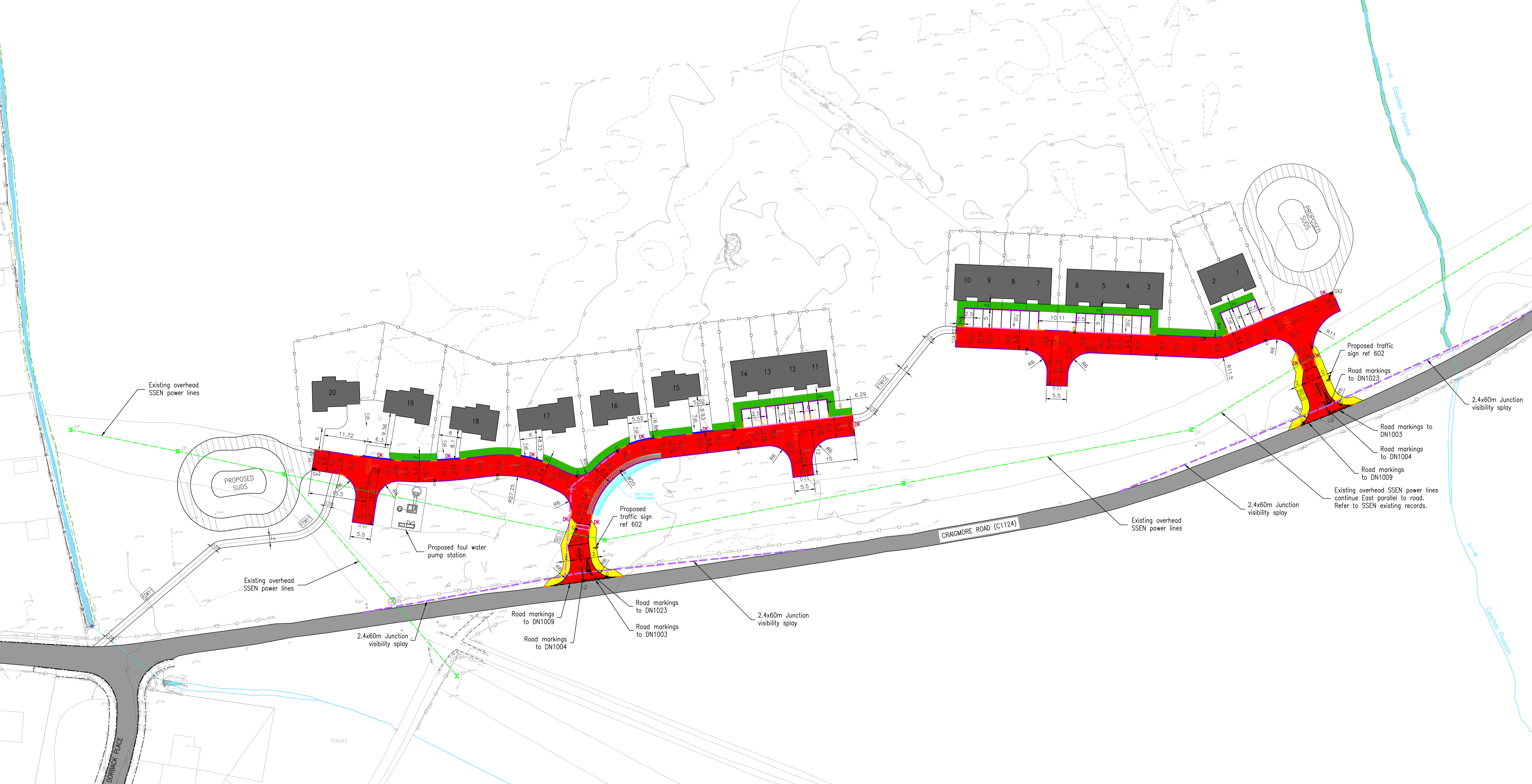
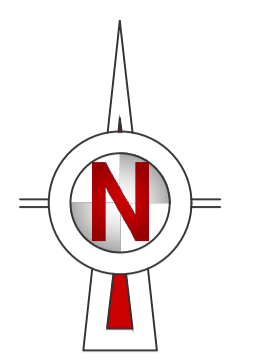
IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

**CONSTRUCTION:**  
Discovery of un-charted services.  
Existing SSEN overhead electricity passes through the development boundary.

Road Legend Table	
	= Diagram 602
	= Diagram 1003
	= Diagram 1004
	= Diagram 1009
	= Diagram 1023

Do not scale from this drawing.



Rev.	Date	Description	Drawn	Checked	Approved

**LEGEND:**

- Extent of carriageways proposed for Highland Council Adoption
- Extent of footways proposed for Highland Council Adoption
- Extent of proposed service strips

**NOTES:**

1. For proposed roads layout please refer to Fairhurst drawing no. 70599/202.
2. For proposed roads longitudinal sections please refer to Fairhurst drawing no. 70599/205.

Client:  
**CASTLEGLLEN PROPERTIES (ABERDEEN) LTD**

Project Title:  
**HOUSING DEVELOPMENT ADJACENT TO CRAIGMORE ROAD NETHY BRIDGE**

Drawing Title:  
**HIGHLAND COUNCIL ROADS DEPARTMENT PROPOSED ADOPTABLE AREAS**

<b>FAIRHURST</b>	
Etive House, Beechwood Business Park, INVERNESS, IV2 3BW Tel: 01463 724 544 Fax: 0844 381 4412	
Scale at A1: 1:500	Status: PLANNING APPROVAL
Drawn: CM	Checked: DE
Date: 05/02/2020	Date: 07/02/2020
Approved: ARM	Date: 07/02/2020
Drawing No.: 70599/204	Revision:

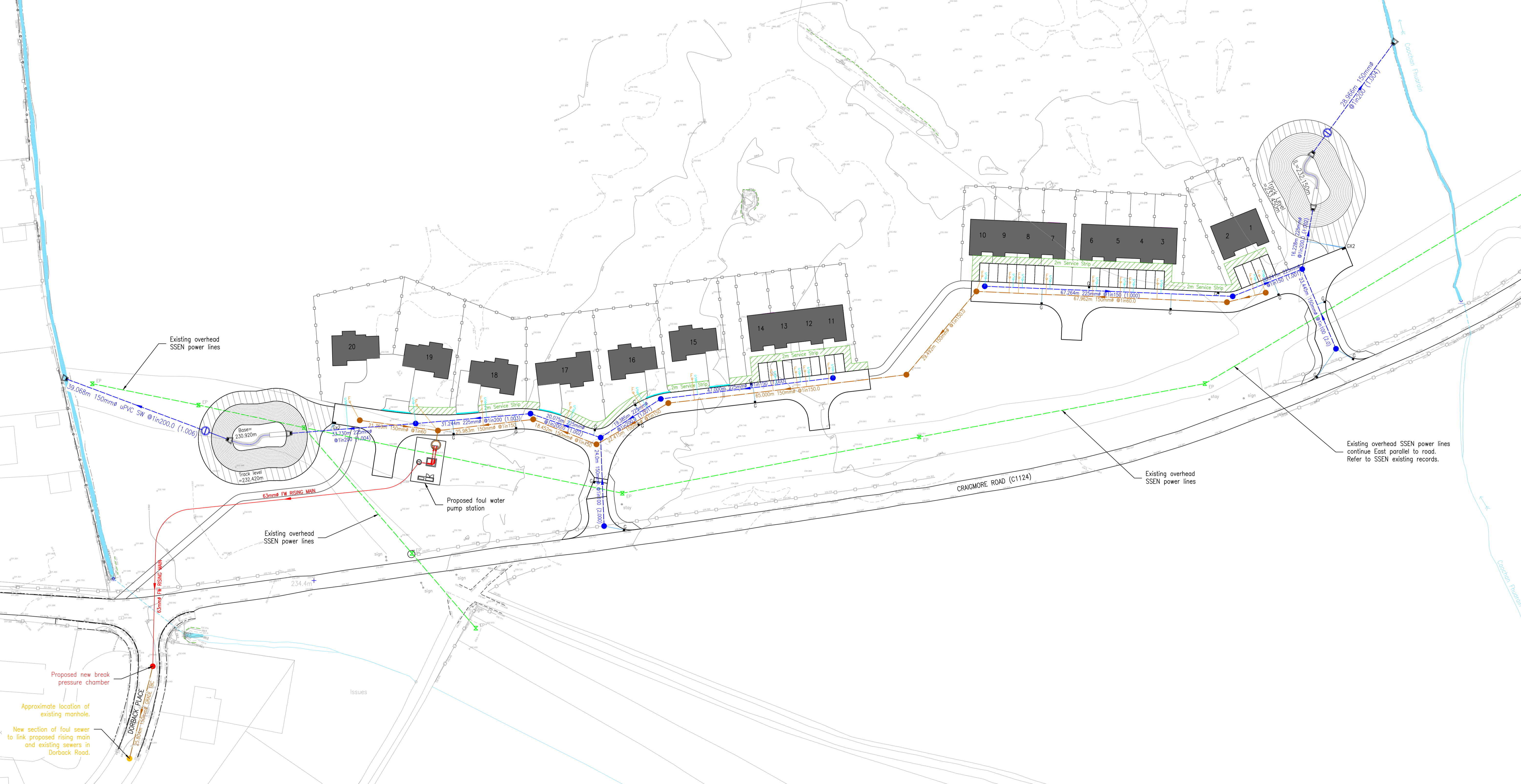
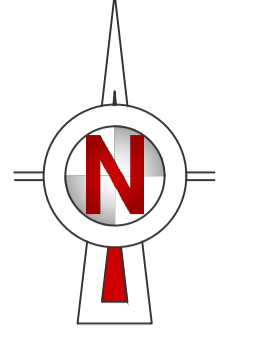
**SAFETY HEALTH AND ENVIRONMENTAL INFORMATION**

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RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

**CONSTRUCTION:**  
Discovery of un-charted services.  
Existing SSEN overhead electricity passes through the development boundary.

Do not scale from this drawing.



- LEGEND:**
- Proposed 150/225mm $\varnothing$  uPVC Scottish Water gravity surface water sewer
  - Proposed 150mm $\varnothing$  uPVC Scottish Water gravity foul water sewer
  - Proposed 110mm $\varnothing$  uPVC S.W foul water rising main
  - Proposed 450mm $\varnothing$  polypropylene foul/surface water disconnection chamber & connection
  - Proposed linear drainage channel
  - Proposed 1200mm $\varnothing$  precast concrete surface/foul water manhole
  - Proposed 1200mm $\varnothing$  precast concrete foul water break pressure manhole
  - G Proposed roads water gully & connection

- NOTES:**
1. Existing road and drainage tie-in levels to be checked on site by contractor and confirmed to engineer prior to commencement of works.
  2. Housing plan adopted from Ken Mathieson Architectural Design Proposed Indicative Site Layout Plan job no. 2408, drawing no. PLO1.
  3. Refer to Architects drawing for site boundary, rain water downpipes and internal soil vent pipes and services.
  4. Sewage installation works to be carried out in accordance with Scottish Water "Sewers For Scotland, Fourth Edition".
  5. Curtilage drainage to be constructed, installed and tested in accordance with the recommendations in BS EN 752:2017, BS EN 1610:2015 and "The SUDS Manual 2015 - Ciria C753".
  6. A minimum of 600mm cover to be provided to all pipework within landscaped areas and a minimum of 1.2m below any road or parking. Pipes under trafficked areas with <1.2m cover to have concrete slab protection.
  7. All manhole and disconnection chamber covers to be D400 class.
  8. Existing drainage locations interpolated from existing Scottish Water record drawings.
  9. Linear drainage channels to be installed at driveway/footway interface to prevent surface water from drive shedding onto footways/roads.
  10. Refer to Fairhurst drawing no. 70599/206 for surface water exceedance flow routing

Client:  
CastleGlen Properties  
(Aberdeen) Ltd

Project Title:  
HOUSING DEVELOPMENT  
ADJACENT TO CRAIGMORE ROAD  
NETHY BRIDGE

Drawing Title:  
DRAINAGE LAYOUT PLAN

Rev.	Date	Description	Drawn	Checked	Approved

**FAIRHURST**

Elite House,  
Beechwood Business Park, INVERNESS, IV2 3BW  
Tel: 01463 724 544 Fax: 0844 381 4412

Scale at A1: 1:500	Status: PLANNING APPROVAL
Drawn: CM	Checked: DE
Date: 05/02/2020	Date: 07/02/2020
Approved: ARM	Date: 07/02/2020
Drawing No.: 70599/203	Revision:

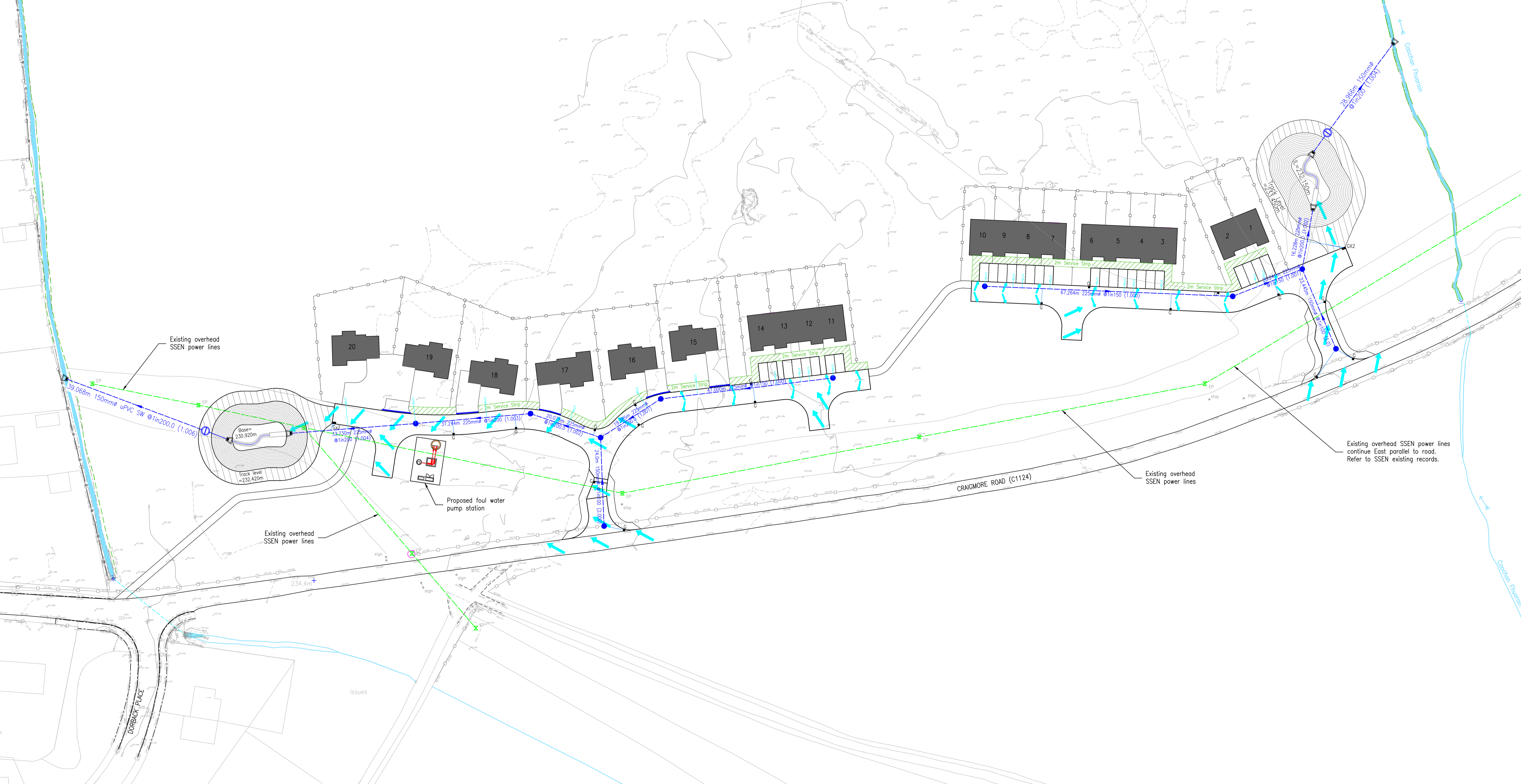
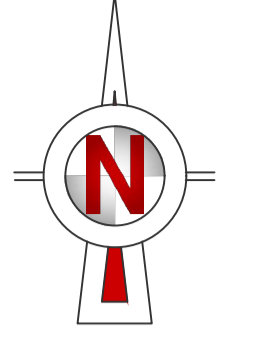
**SAFETY HEALTH AND ENVIRONMENTAL INFORMATION**

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

**CONSTRUCTION:**  
Discovery of un-charted services.  
Existing SSEN overhead electricity passes through the development boundary.

Do not scale from this drawing.



Rev.	Date	Description	Drawn	Checked	Approved

- LEGEND:**
- Proposed 150/225mm uPVC S.W surface water sewer
  - Proposed 450mm polypropylene surface water disconnection chamber & connection
  - Proposed linear drainage channel
  - Proposed 1200mm precast concrete surface water manhole
  - Proposed roads water gully & connection
  - Proposed route of surface water exceeding drainage infrastructure

**NOTES:**

- Refer to Fairhurst drawing no. 77059/203 for proposed drainage layout plan.
- Refer to Fairhurst drawing no. 77059/202 for proposed roads layout plan.

Client:  
**CASTLEGLLEN PROPERTIES (ABERDEEN) LTD**

Project Title:  
**HOUSING DEVELOPMENT ADJACENT TO CRAIGMORE ROAD NETHY BRIDGE**

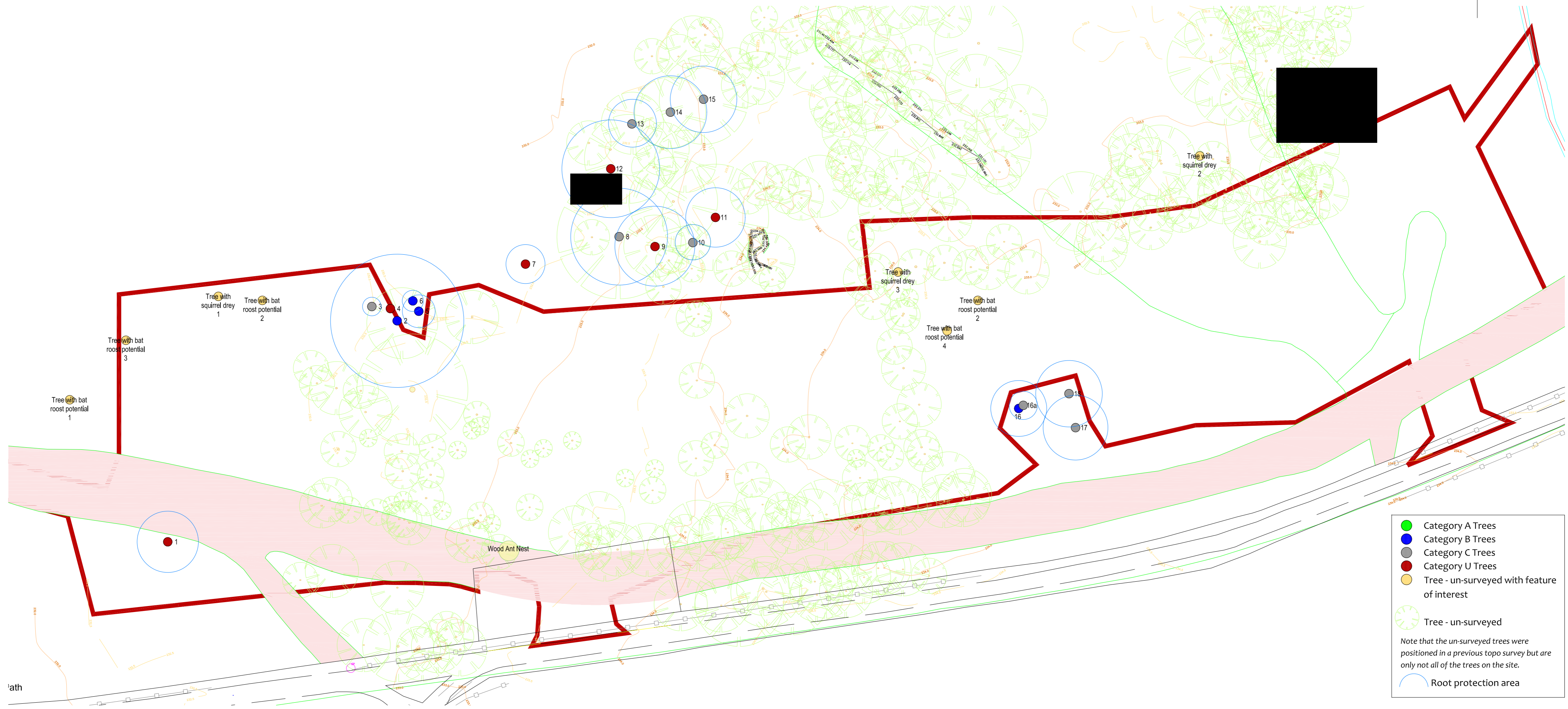
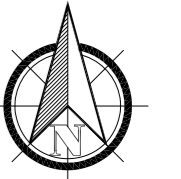
Drawing Title:  
**SURFACE WATER EXCEEDANCE ROUTING**

**FAIRHURST**

Elite House,  
Beechwood Business Park, INVERNESS, IV2 3BW  
Tel: 01463 724 544 Fax: 0844 381 4412

Scale at A1: 1:500	Status: PLANNING APPROVAL	
Drawn: CM	Checked: DE	Approved: ARM
Date: 07/02/2020	Date: 10/02/2020	Date: 10/02/2020
Drawing No.: 70599/206		Revision:

# Nethy Bridge Site Craigmore Road



- Category A Trees
- Category B Trees
- Category C Trees
- Category U Trees
- Tree - un-surveyed with feature of interest
- Tree - un-surveyed
- Root protection area

Note that the un-surveyed trees were positioned in a previous topo survey but are only not all of the trees on the site.

**astell associates**  
arboricultural, environmental and landscape consultants

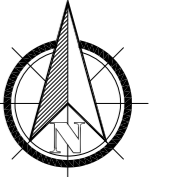
**project:** Proposed Housing Development at Craigmore Road, Nethy Bridge

Client:	CastleGlen Properties Ltd
Date:	20th February 2020
Drawing:	NBC-2002-AA
CAD File:	
Scale:	1:600 @A2
Origin:	

26 Bingham Crescent, Millburn, Aberdeen, AB13 0HP  
email: info@astellassociates.co.uk www.astellassociates.co.uk

Note: The original of this drawing was produced in colour - a monochrome copy should not be relied upon

# Nethy Bridge Site Craigmore Road



- Trees to retain
- Fell for health and safety
- Tree - un-surveyed - to fell
- Tree - un-surveyed - Retain

*Note that the un-surveyed trees were positioned in a previous topo survey but are only not all of the trees on the site.*

- Root Protection area
- Tree protection fencing
- Boundary



**project:** Proposed Housing Development at Craigmore Road, Nethy Bridge

Client:	CastleGlen Properties Ltd
Date:	20th February 2020
Drawing:	NBC-2002-TP
CAD File:	
Scale:	1:600 @A2
Origin:	

26 Bingham Crescent, Milltimber, Aberdeen, AB13 0HP  
 email: info@astellassociates.co.uk www.astellassociates.co.uk

*Note: The original of this drawing was produced in colour - a monochrome copy should not be relied upon*