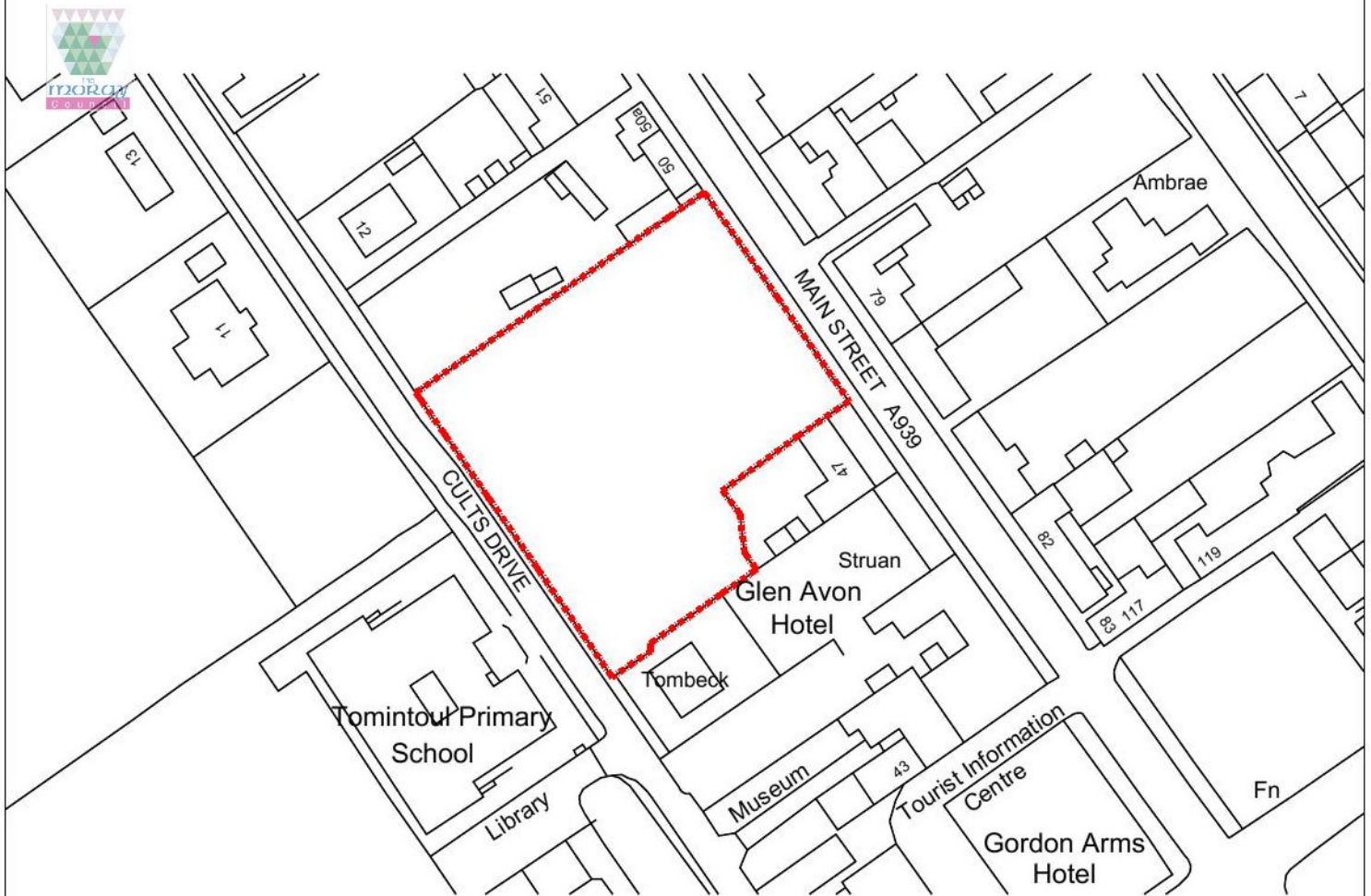


AGENDA ITEM 5

APPENDIX I

2021/0043/DET

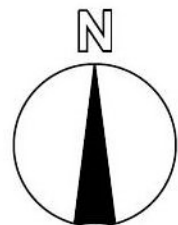
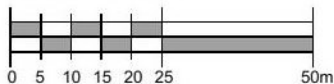
PLANS



1 Site Location Plan

1:1250

SCALE 1:1250



Andrew Black Design
Architecture + Interior Design

Client: Alpha Projects

DWG. NO. PL-01

Project: **Housing Development**
Main Street
Tomintoul

Job No: 760

Date: 18.01.21

Purpose: Planning

27 Tay Street Lane, Dundee, DD1 4EF

t: 01382 220874
mail@andrewblackdesign.com

- Plot 1 :
5 Person 3-bedroom semi-detached two-storey house
GIFA: 85.0m²
Plot 2 :
4 Person 2-bedroom semi-detached two-storey house
GIFA 73.0m²
Plot 3 :
4 Person 2-bedroom semi-detached two-storey house
GIFA 73.0m²
Plot 4 :
5 Person 3-bedroom semi-detached two-storey house
GIFA: 85.0m²
Plot 5 :
5 Person 3-bedroom detached 2-storey house
GIFA 91.9m² floor area
Plot 6 :
4 Person 2-bedroom semi-detached single-storey live work house
GIFA 78.75m²
Plot 7 :
4 Person 2-bedroom semi-detached single-storey house
GIFA 73.0m²
Plot 8 :
4 Person 2-bedroom semi-detached two-storey house
GIFA 73m²
Plot 9 :
4 Person 2-bedroom semi-detached two-storey house
GIFA 73m²
Plot 10 :
5 Person 3-bedroom detached 2-storey house
GIFA 96.64m²
Plot 11 :
5 Person 3-bedroom semi-detached 1.5-storey live-work house
GIFA 107.61m²
Plot 12 :
5 Person 3-bedroom semi-detached 1.5-storey live-work house
GIFA 107.61m²

Rev F road layout adjustments, adopted footpath added, communal bin store omitted, hedges and private bin locations shown, trees added 26.04.21 HG
Rev E road layout adjustments, EV charging point locations added, visibility plays added 15.04.21 HG
Rev D FFL Plot 5, 6, 7, 11 & service strip and paviour notes revised 19.03.21 HG



Client: Alpha Projects

DWG. NO. PL-201 F

Project:
Housing Development
Main Street
Tomintoul

Title:
Site Plan
1:200 @ A2

Job No: 760

Date: 12.01.21

Purpose: Planning

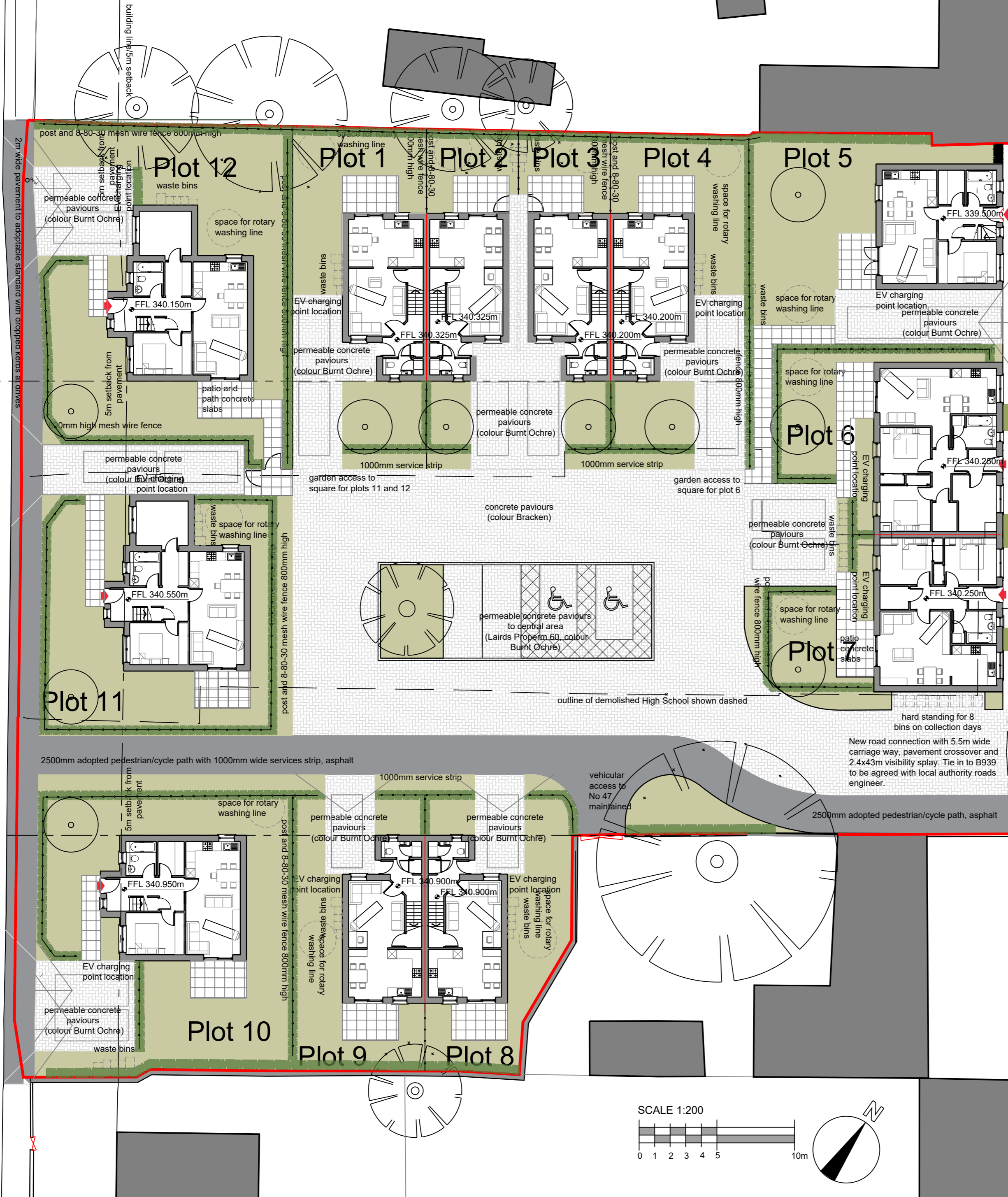
Drawn by: HG

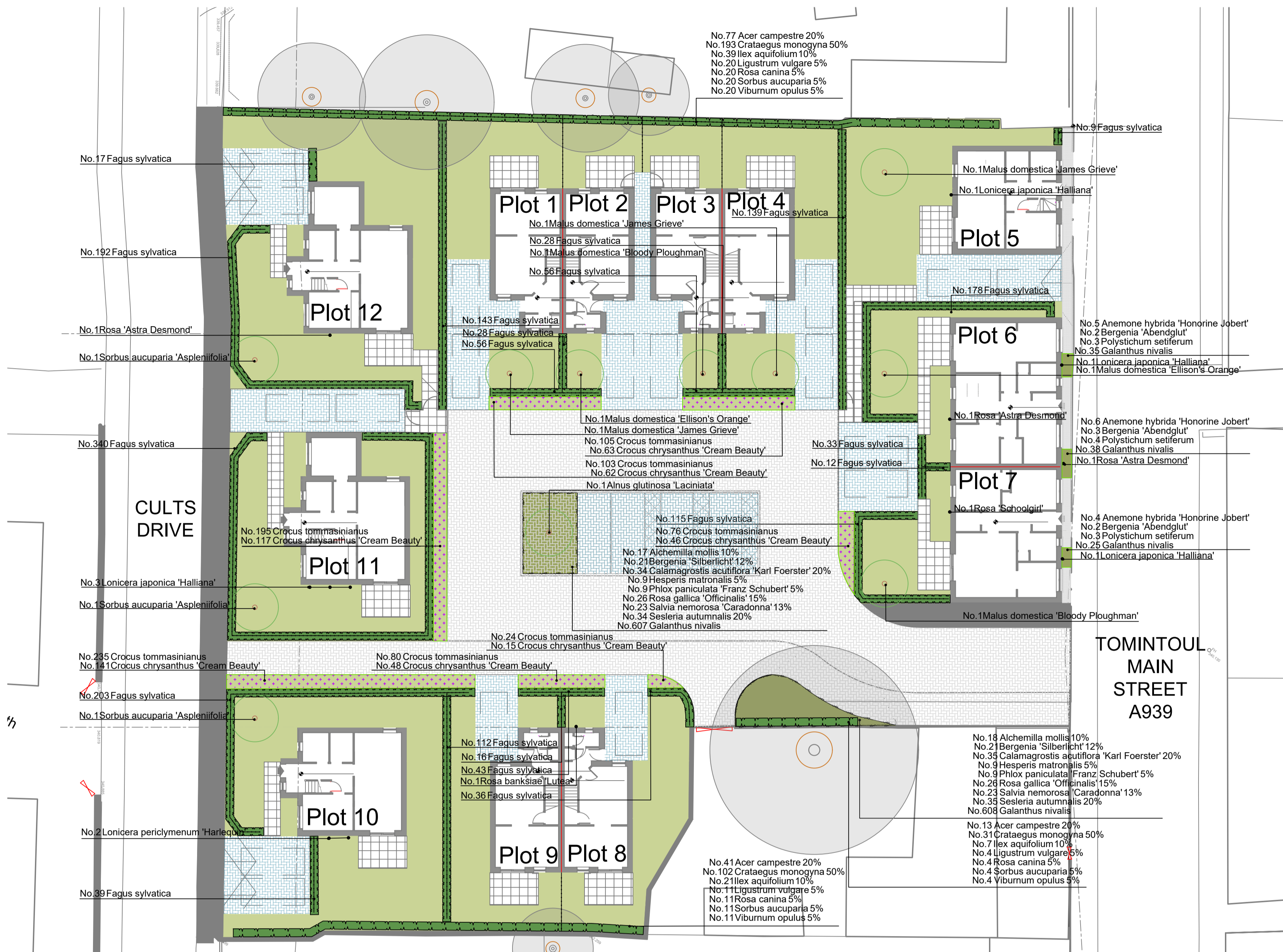
27 Tay Street Lane, Dundee, DD1 4EF

t: 01382 220874
mail@andrewblackdesign.com

CULTS DRIVE

TOMINTOUL MAIN STREET A939





ESTABLISHMENT MAINTENANCE FOR ALL PLANTING: 1 YEAR	MONTHS												YEAR 1
	J	F	M	A	M	J	J	A	S	O	N	J	
Operation													No. of operations
PLANTING, GENERAL REQUIREMENTS													
Leafing out inspection, plant material not leafed out shall be replaced during plant replacement operations;						√							1
100% of plant material to be present at handover													As required
90% weed free area to be maintained around planting including mulch cover during establishment period & for extent of contract duration;				√	2	√	2	√	2				9
Maintain mulch cover around trees & along hedge lines & over planting beds at 75mm			√										1
Water at frequency to ensure establishment and survival				√	√	√	√	√	√				As required
Firm plants & keep vertical as required			√						√				2
Clear tree stations, hedgerows & beds of litter				√	√	√	√	√	√				6
Check all plants for signs of pest, disease or nutrient deficiency & seek expert advice as required				√	√	√	√	√	√				6 & as required
Plant replacements: planting that has failed or is damaged by herbicide application should be replaced during the next growing season;											√		1
Pruning: all planting material to be checked for damage to branches, shoots & bark. All dead, damaged branches/shoots or epicormic growth to be cleanly cut back to sound, undamaged wood. All tree works to be undertaken in accordance with BS 3998: 1989. Prunings & trimmings to be removed from site											√		1 prior to handover
Trees													
Check tree anchors at intervals shown and after high winds & adjust			√							√			1
Check stakes & ties: replace loose, broken or decayed items to original specification. Adjust, refix or replace loose or defective ties, allowing for growth and to prevent chafing. Where chafing has occurred, reposition or replace ties to prevent further chafing									√				1
Check irrigation tubes/caps			√										1
Shrubs													
Small evergreen shrubs: cut back shrubs to maintain shape and vigour immediately after flowering							√		√		√		
Hedge													
Trim to 100cm height after planting, maintain at 1m with slight batter to top, trim any rangy branches to 60cm width			√								√		2
Perennials													
Cut back early flowering perennials, to approx half height after flowering								√					1
Remove material showing signs of decay or fungal growth, selectively cut back in winter to ground level								√				√	2
Retain dried flower heads of sculptural plants & leave until spring removal of material from plants likely to be damaged by frost. Prune back to crown or dormant level (usually within 10cm of ground level)				√									1
Prune to 5cm from ground level old stems of evergreen perennials shooting from base				√									1
Grasses													
Ornamental Grasses													
Deciduous grasses: trim close to ground level, eg Calamagrostis & Sesleria avoid cutting flower stalks when pruning, seek advice if unsure as to best maintenance regime for individual grasses				√	√								
Evergreen grasses: cut off spent flower stalks & unsightly or diseased leaves													
Amenity Grass													
First cut at 70cm height, thereafter cut to 40mm height, remove arisings				√	2	2	2	2	2	√			12
Overseed any gaps in sward, apply spring fertiliser				√									1
Amenity grass cutting to 40mm when weather & ground conditions are favourable, arisings to be disposed of off site - By Employer on Completion													
Litter Picking	√	√	√	√	√	√	√	√	√	√	√	√	10

Planting Schedule

Trees	Species	Height	Girth	Specification	Quantity	Notes
	Alnus glutinosa 'Laciniata'	4.0-5.0m	14-16cm	CG:WRB :Extra Heavy Standard :Clear Stem 175-200	1	
	Malus domestica 'Bloody Ploughman'	2.0m	8-10cm	CG:WRB :Half Standard :Rootstock M26 or MM106	2	
	Malus domestica 'Ellison's Orange'	2.0m	8-10cm	CG:WRB :Half Standard :Rootstock M26 or MM106	2	
	Malus domestica 'James Grieve'	2.0m	8-10cm	CG:WRB :Half Standard :Rootstock M26 or MM106	3	
	Sorbus aucuparia 'Asplenifolia'	4.0-5.0m	14-16cm	CG:WRB :Extra Heavy Standard :Clear Stem 175-200	3	

Shrubs	Species	Pot Size	Density	Specification	Quantity	Notes
	Rosa gallica 'Officinalis'	2L	7/m²	CG :Bushy :4/6 brks	52	

Hedges	Species	Height	Density	Specification	Quantity	Notes
	Acer campestre	60-80cm	0.3Ct Double Staggered at 0.2m offset	BR :1+1: Transplant	131	
	Crataegus monogyna	60-80cm	0.3Ct Double Staggered at 0.2m offset	BR :1+1: Transplant	326	
	Fagus sylvatica	40-60cm	0.3Ct Double Staggered at 0.2m offset	BR :1+2 :Single Leader	1795	
	Ilex aquifolium	80-100cm	0.3Ct Double Staggered at 0.2m offset	Bushy: 2 brks: C	67	
	Ligustrum vulgare	60-80cm	0.3Ct Double Staggered at 0.2m offset	0/2: Cutting: Branched: 3 brks: B	35	
	Rosa canina	60-80cm	0.3Ct Double Staggered at 0.2m offset	BR :1+1: Transplant	35	
	Sorbus aucuparia	60-80cm	0.3Ct Double Staggered at 0.2m offset	BR :1+1: Transplant	35	
	Viburnum opulus	60-80cm	0.3Ct Double Staggered at 0.2m offset	BR :1+1: Transplant	35	

Herbaceous	Species	Pot Size	Density	Specification	Quantity	Notes
	Alchemilla mollis	2L	7/m²	CG :Fully Rooted Pot :Healthy Crown	35	
	Anemone hybrida 'Honorine Jobert'	2L		CG :Fully Rooted Pot :Healthy Crown	15	
	Bergenia 'Abendglut'	2L		CG :Fully Rooted Pot :Healthy Crown	7	
	Bergenia 'Silberlicht'	2L	7/m²	CG :Fully Rooted Pot :Healthy Crown	42	
	Hesperis matronalis	2L	7/m²	CG :Fully Rooted Pot :Healthy Crown	18	
	Phlox paniculata 'Franz Schubert'	2L	7/m²	CG :Fully Rooted Pot :Healthy Crown	18	
	Salvia nemorosa 'Caradonna'	2L	7/m²	CG :Fully Rooted Pot :Healthy Crown	46	

Climbers	Species	Pot Size	Density	Specification	Quantity	Notes
	Lonicera japonica 'Halliana'	2L	Counted	CG :3/4 brks :Single or Several Shoots :Wall support required	6	
	Lonicera periclymenum 'Harlequin'	2L	Counted	CG :3/4 brks :Single or Several Shoots :Wall support required	2	
	Rosa 'Astra Desmond'	2L	Counted	CG :3/4 brks :Single or Several Shoots :Wall support required	3	
	Rosa 'Schoolgirl'	2L	Counted	CG :3/4 brks :Single or Several Shoots :Wall support required	1	
	Rosa banksiae 'Lutea'	2L	Counted	CG :3/4 brks :Single or Several Shoots :Wall support required	1	

Ferns	Species	Pot Size	Density	Specification	Quantity	Notes
	Polystichum setiferum	2L		CG :Fully Rooted Pot :Healthy Crown	10	

Grasses	Species	Pot Size	Density	Specification	Quantity	Notes
	Calamagrostis acutiflora 'Karl Foerster'	2L	7/m²	CG :Fully Rooted Pot :Healthy Crown	69	
	Sesleria autumnalis	2L	7/m²	CG :Fully Rooted Pot :Healthy Crown	69	

Bulbs	Species	Density	Specification	Quantity	Notes
	Crocus chrysanthus 'Cream Beauty'	25/m²	Scatter randomly and plant where land	492	
	Crocus tommasinianus	25/m²	Scatter randomly and plant where land	818	
	Galanthus nivalis	25/m²	Scatter randomly and plant where land	1313	

NOTES:
Do NOT scale from this drawing.
Dimensions to be verified on site prior to works commencing.

Any discrepancies or errors must be brought to the attention of Ironside Farrar Ltd.

The drawings are to be read in conjunction with all relevant Landscape Architect, consultant and specialist drawings.

Drawings:

Legend:

- Hard Landscape**
- Concrete blocks: Area 660m² approx
Size: 200x100x80mm, Colour: Bracken
 - Concrete blocks permeable: Area 530m² approx
Size: 200x100x80mm, Colour: Bracken
 - Concrete patio slabs: Area 160m² approx
Size: 600x600x50, Colour: Natural
 - Sett paving: Area 25m² approx
 - Asphalt
 - Post and wire mesh fencing: 355lm
C8/80/30, 800mm high

Soft Landscape

- Existing tree
- Proposed tree x 11
- Hedge planting: 365lm
- Climber x 10
- Ornamental shrub and perennial mix planting: Area 53m² approx
- Amenity grass seeding, A22 Low maintenance seed mix @35g/m² by Germinal or approved equivalent: Area 1172m² approx
- Bulb planting: Area 65m² approx

P01	23.04.21	For Planning	BP
P01	16.04.21	For Planning	BP
Revision	Date	Description	Initials

Ironside Farrar
Environmental Consultants
5th Floor, 135 Buchanan Street, Glasgow G1 2JA
0141 230 2151 | glasgow@ironsidefarrar.com
EDINBURGH | GLASGOW | MANCHESTER

Project No.
40141
Project Name
Tomintoul Landscape Proposal

Client
Alpha Projects Ltd
Title
General Arranagment

N. Point
Scale
1:200
Bar Scale
0 5 10m
Scale
1:200

Date
13.04.21
Paper Size
A1
Quality Assurance
ISO 9001:2015
BSI UKAS Certificate GB0254539
Copyright Acknowledgement
Copyright Survey & Crown Copyright 2020
All rights reserved. Licence No. AL100017968

Drawn By
BP
Checked by
IM
Status
FOR PLANNING
Suitability
S04
Project
40141-IFL-T1-DR-L-10-001-P02

DO NOT SCALE FROM DRAWING

A horizontal number line is shown with tick marks at 0, 2, 4, 6, 8, 10, and 20m. Two shaded rectangular regions represent the time taken by the boats. The first shaded region, representing Boat A, starts at 0 and ends at 10. The second shaded region, representing Boat B, starts at 0 and ends at 20.



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Architecture + Interior Design

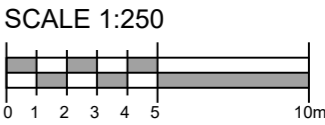
Project:
Housing Development
Main Street
Tomintoul

27 Tay Street Lane, Dundee, DD1 4EF
t: 01382 220874
mail@andrewblackdesign.com

Block Plan

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DO NOT SCALE FROM DRAWING



1 Main Street Elevation
1:250 @ A2



3 Cults Drive Elevation
1:250 @ A2

Rev A porches omitted on Main Street porch colours revised on Cults Drive, fenestration revised plots 5, 10, 11, 12 15.04.21 HG



Client: Alpha Projects

DWG. NO. PL-507 A

Project:
Housing Development
Main Street
Tomintoul

Title:
Street Elevations
1:250 @ A2

Job No: 760

Date: 17.03.21

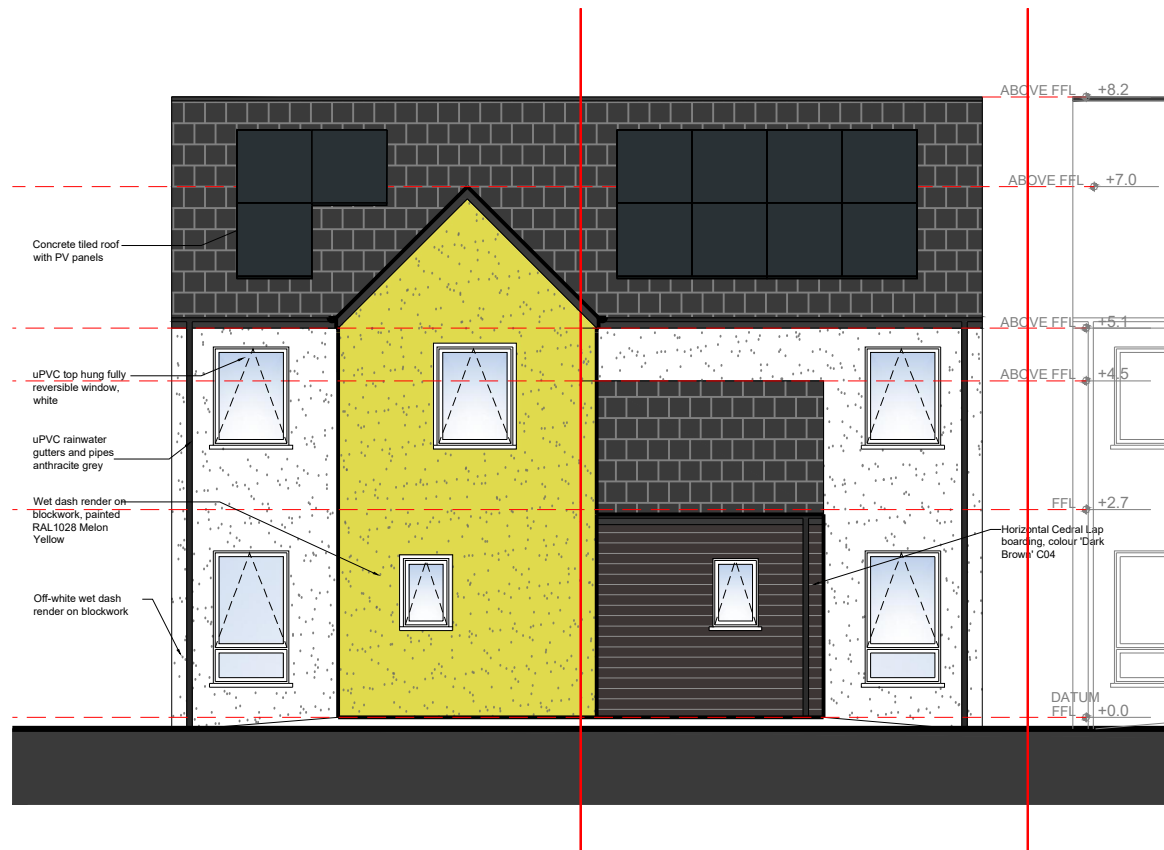
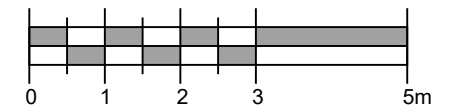
Purpose: Planning

Drawn by: HG

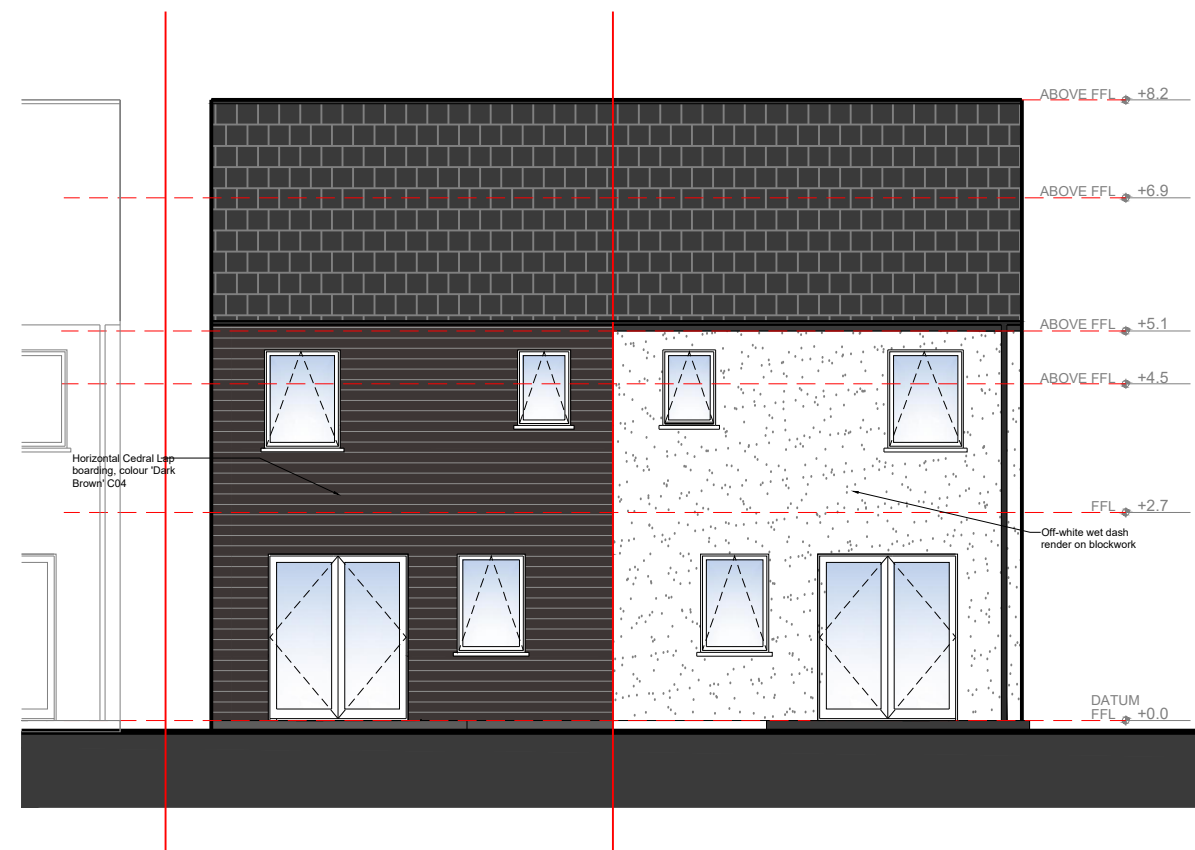
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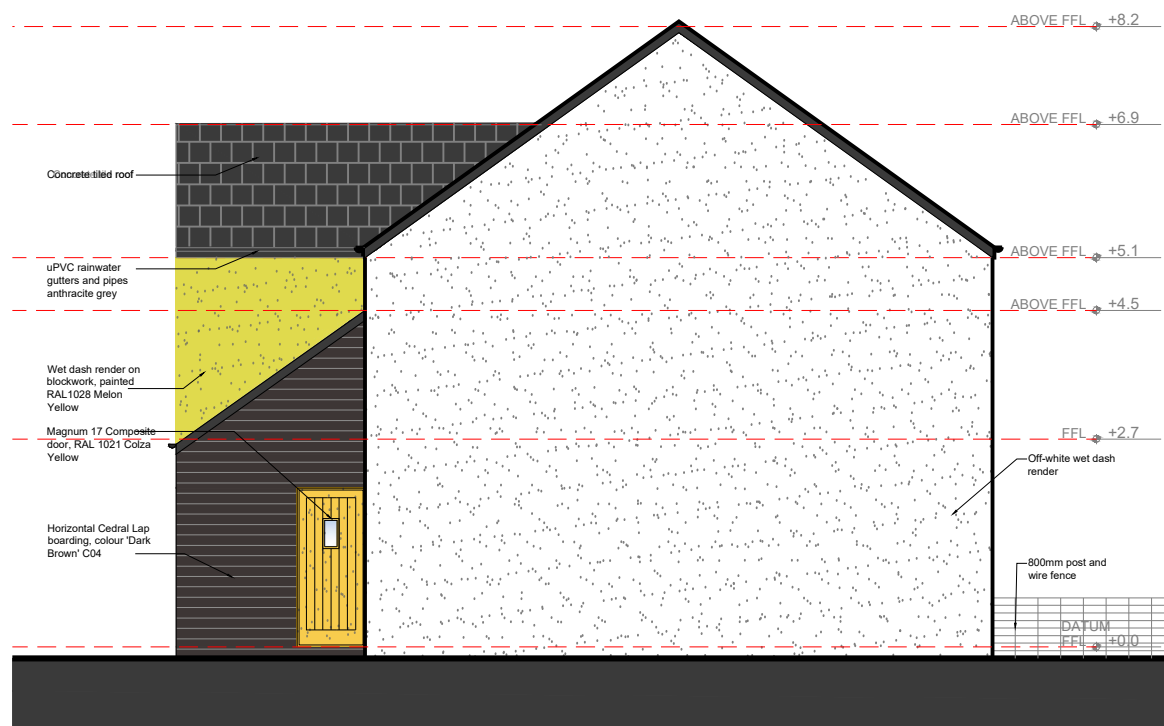
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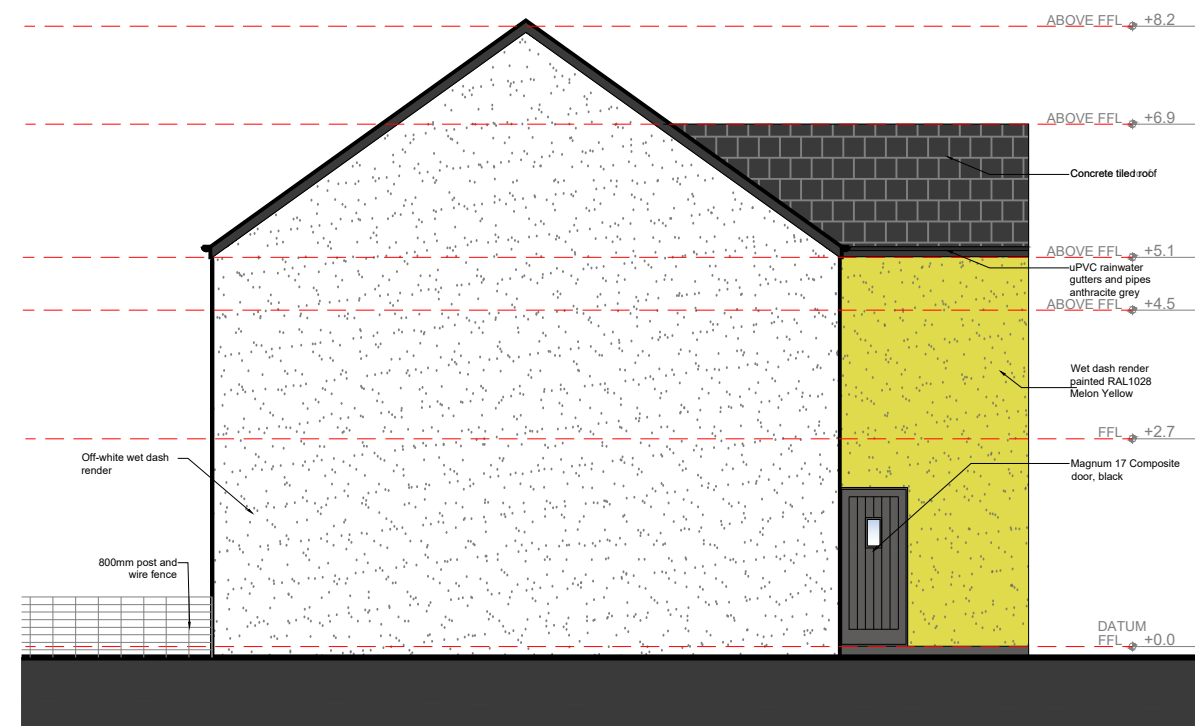
1 Plot 1 & 2 - South Elevation
1:100 @ A3



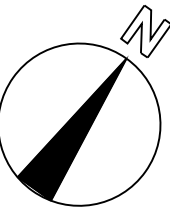
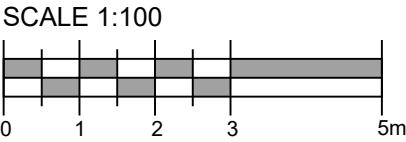
2 Plot 1 & 2 - North Elevation
1:100 @ A3



3 Plot 1 & 2 - East Elevation
1:100 @ A3



4 Plot 1 & 2 - West Elevation
1:100 @ A3



Plot 1
5 Person
3-bedroom
semi-detached
two-storey house
85.0m² floor area

Plot 2
4 Person
2-bedroom
semi-detached
two-storey house
73.00m² floor area



Client: Alpha Projects

DWG. NO. PL - 300 B

Project:
Housing Development
Main Street
Tomintoul

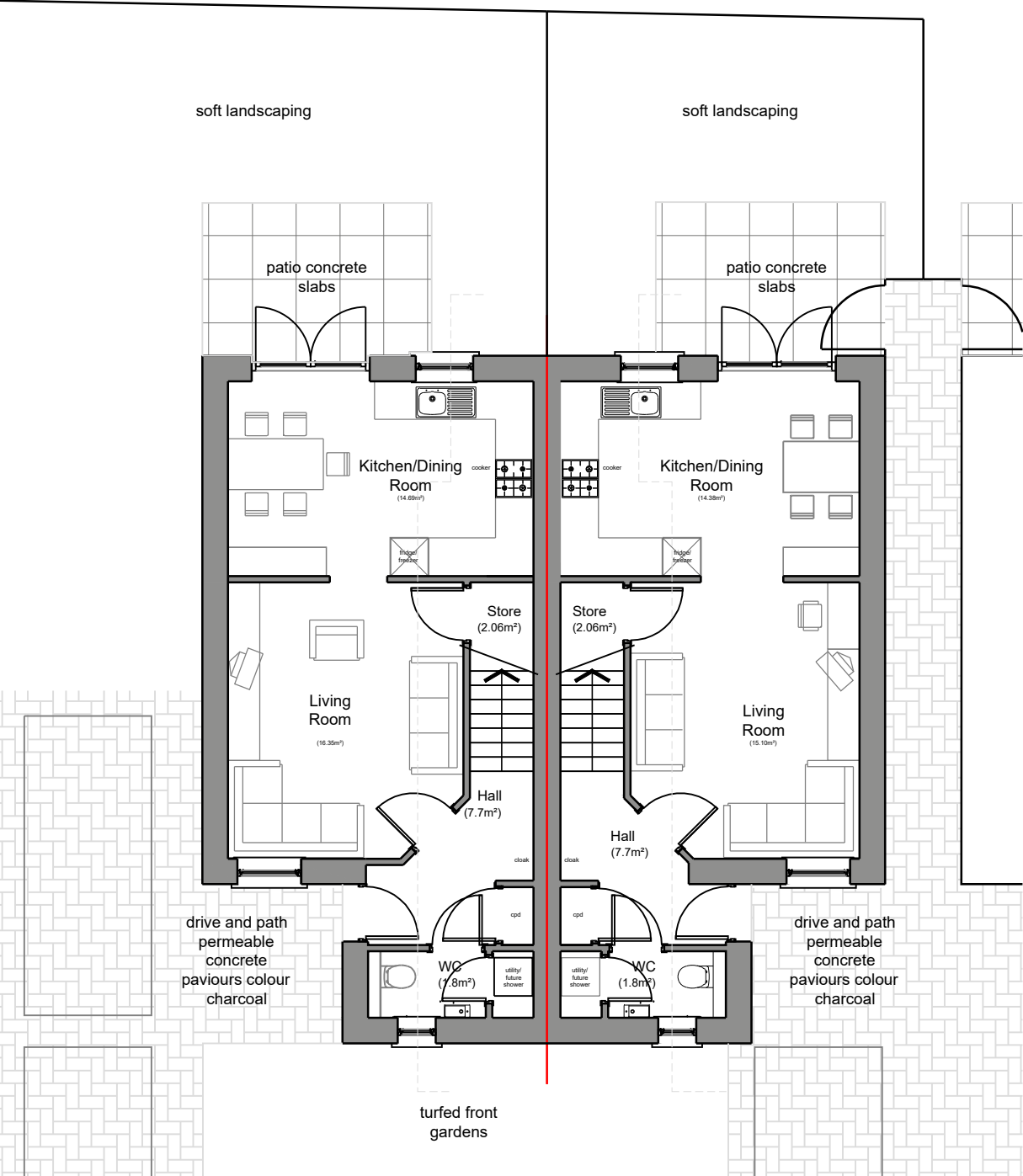
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Plot 1 & 2
Proposed Floor Plan
1:100@A3

Job No: 760

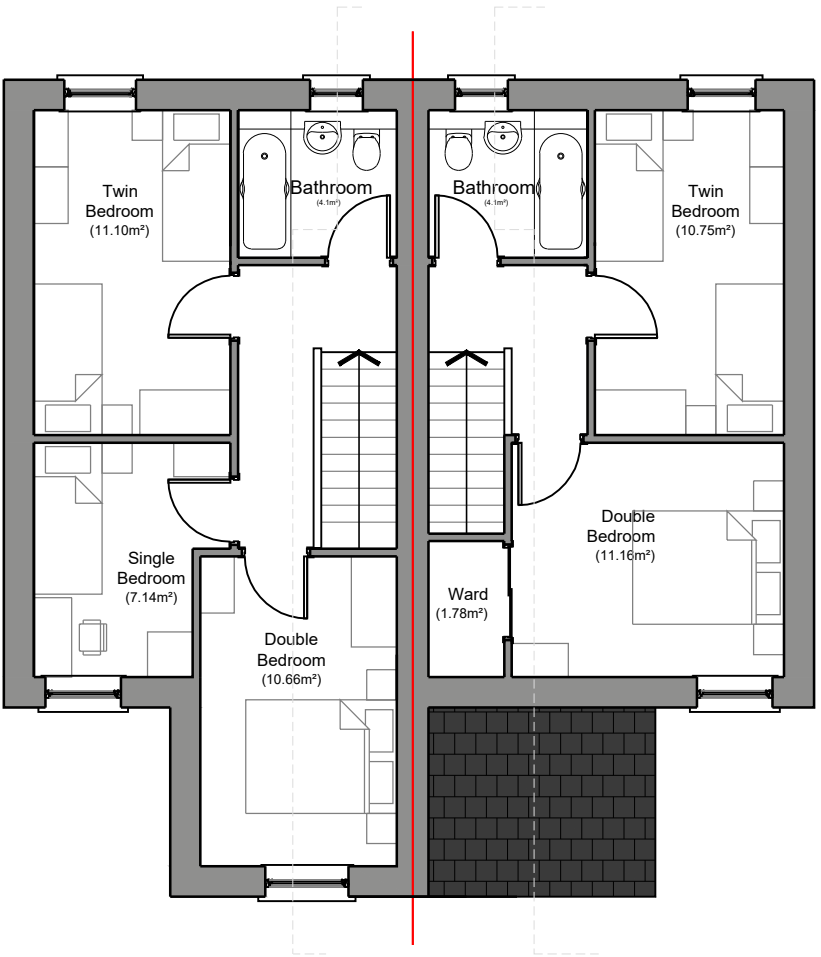
Date: January 2021

Purpose: Planning

Drawn by: HG

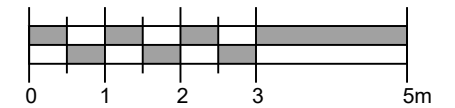


1 Plot 1 & 2 - Ground Floor Plan
1:100 @ A3

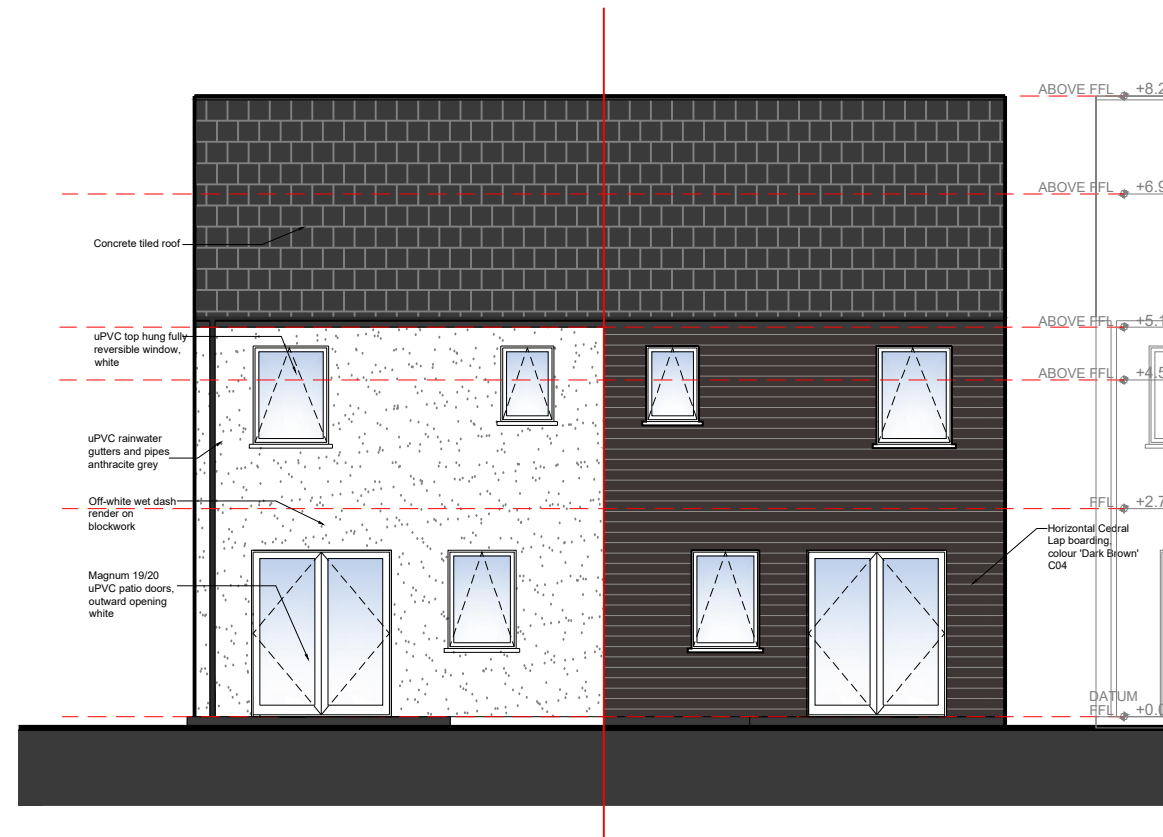


2 Plot 1 & 2 - First Floor Plan
1:100 @ A3

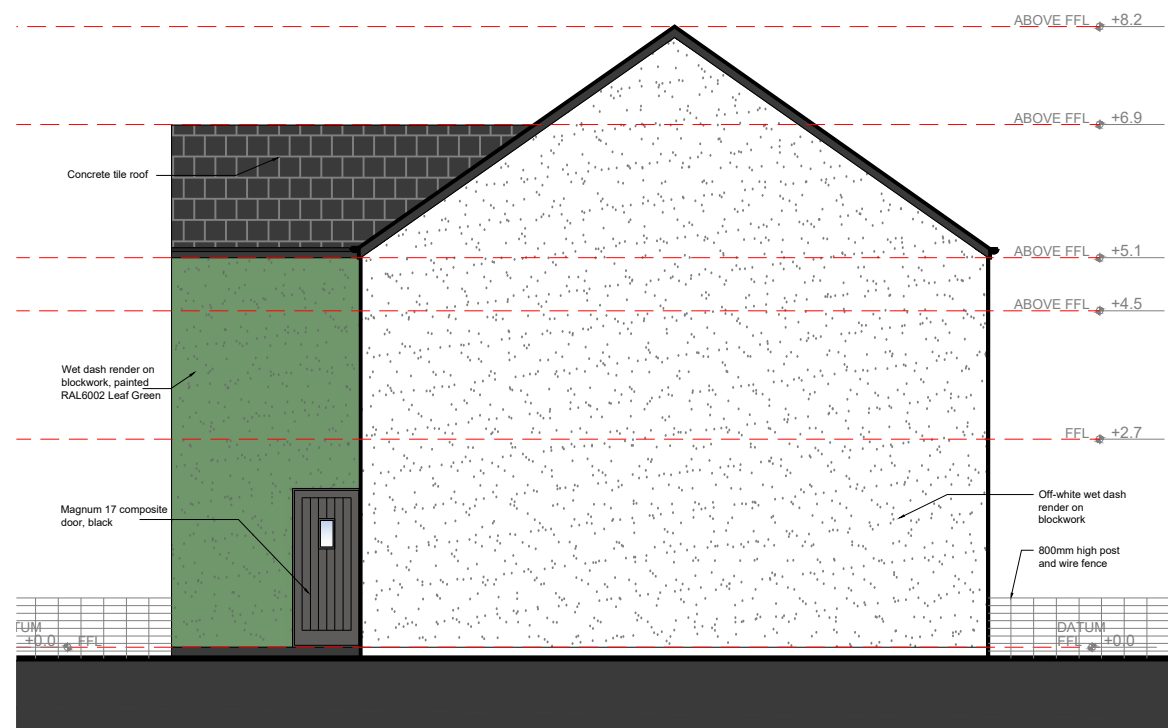
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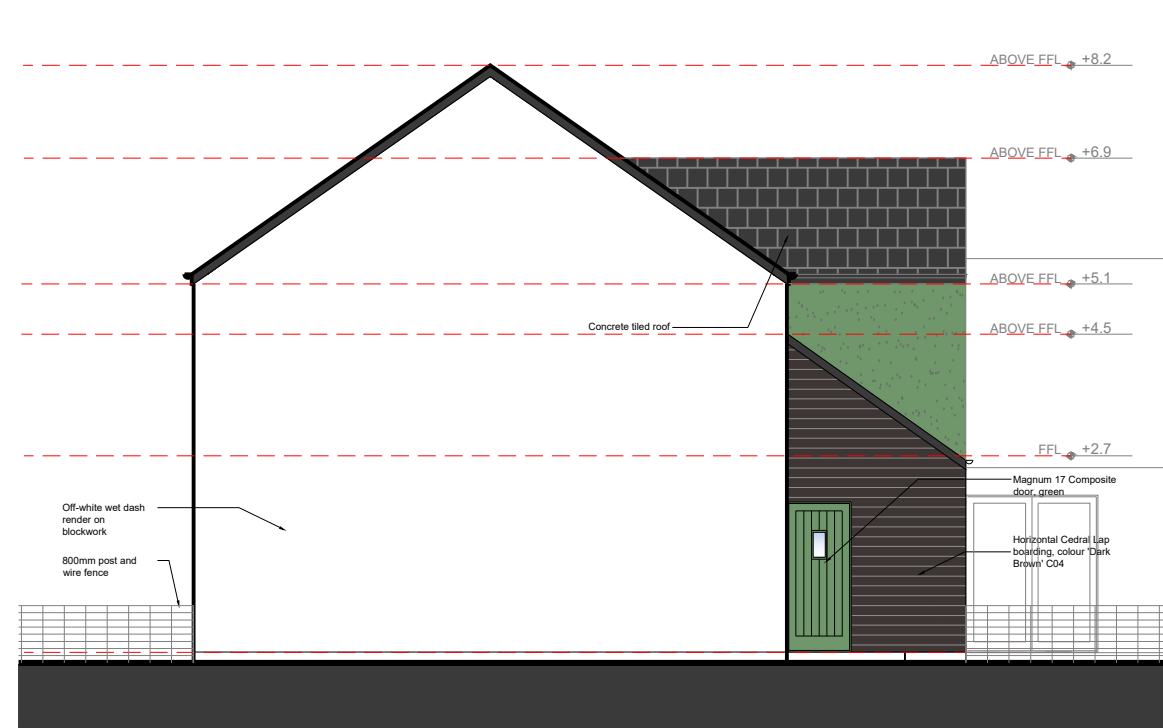
1 Plot 3 & 4 - South Elevation
1:100 @ A3



2 Plot 3 & 4 - North Elevation
1:100 @ A3

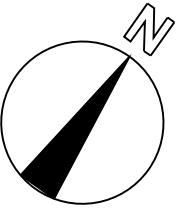
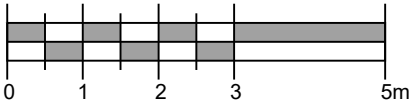


3 Plot 3 & 4 - East Elevation
1:100 @ A3



4 plot 3 & 4 - West Elevation
1:100 @ A3

SCALE 1:100



Plot 3
4 Person
2-bedroom
semi-detached
two-storey house
73.00m² floor area

Plot 4
5 Person
3-bedroom
semi-detached
two-storey house
85.0m² floor area



Client: Alpha Projects

DWG. NO. PL - 301 B

Project:
Housing Development
Main Street
Tomintoul

Title:
Plot 3 & 4
Proposed Floor Plan
1:100 @ A3

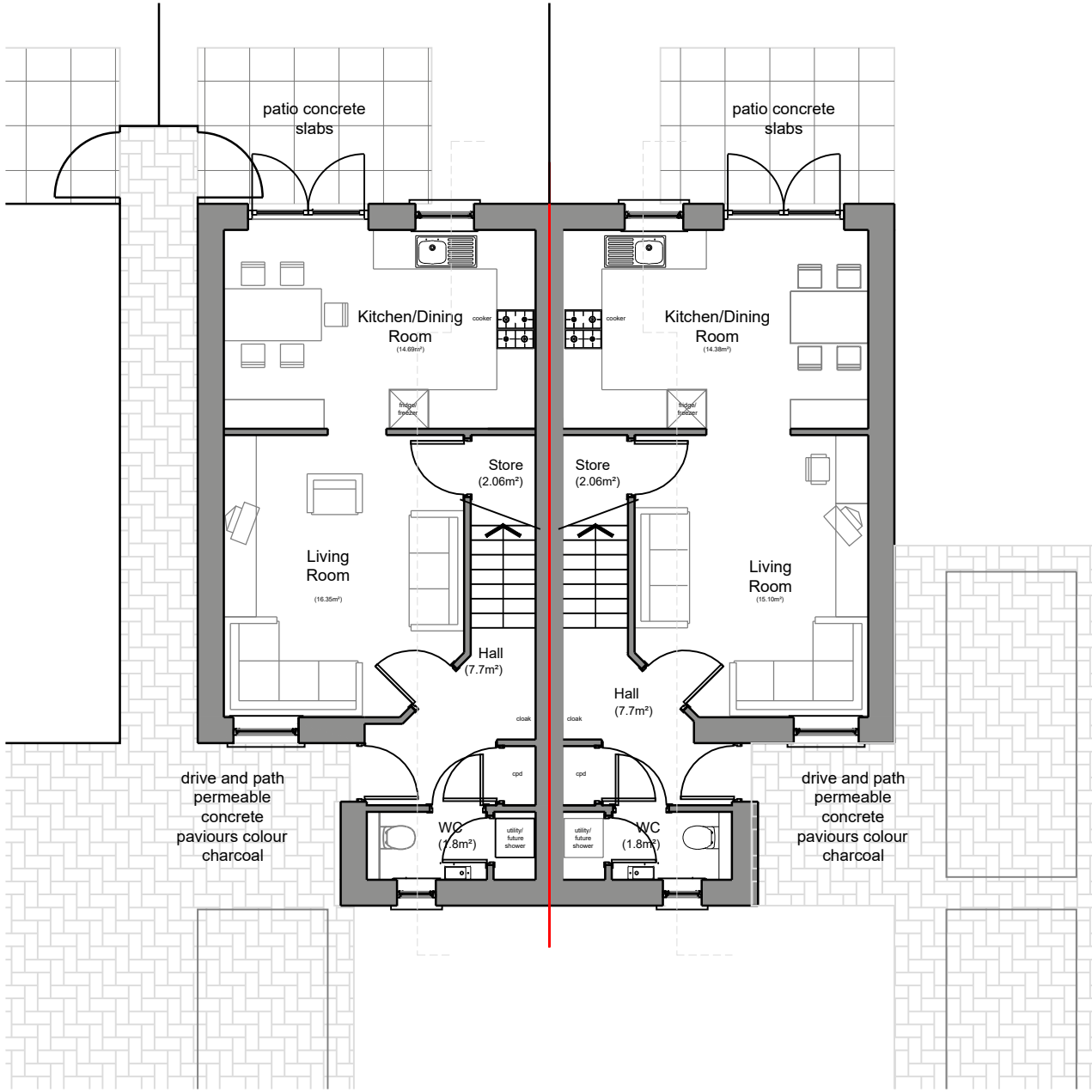
Job No: 760

Date: January 2021

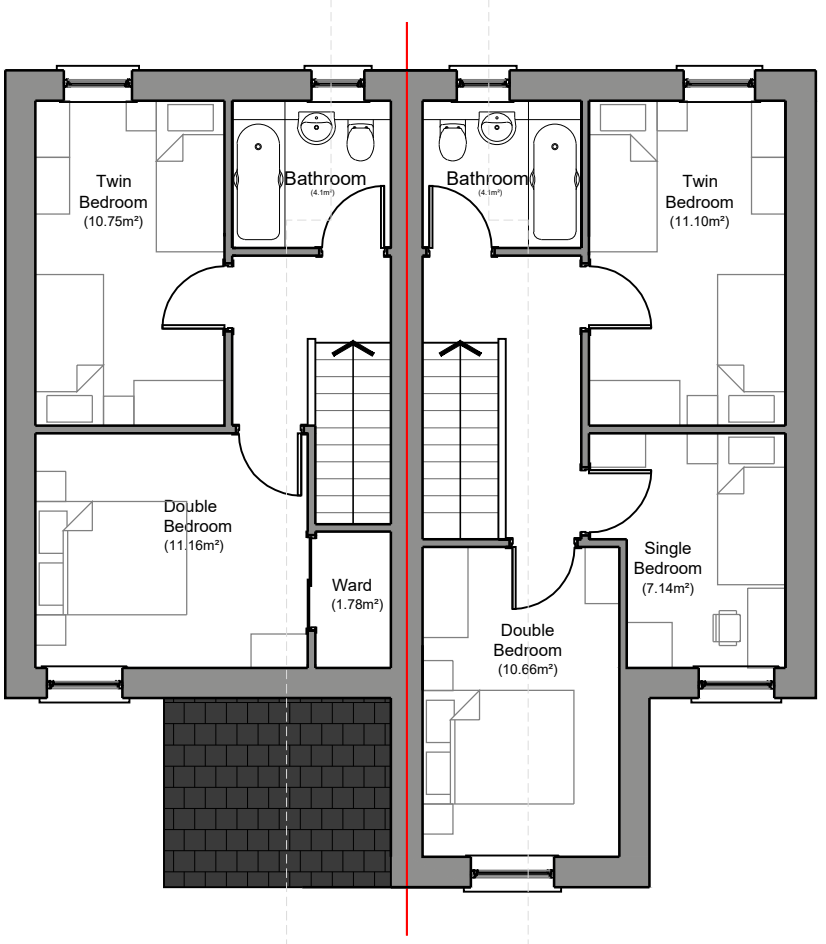
Purpose: Planning

Drawn by: HG

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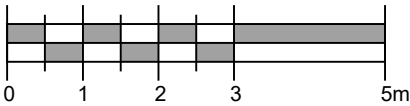
1 Plot 3 & 4 - Ground Floor Plan
1:100 @ A3



2 Plot 3 & 4 - First Floor Plan
1:100 @ A3

DO NOT SCALE FROM DRAWING

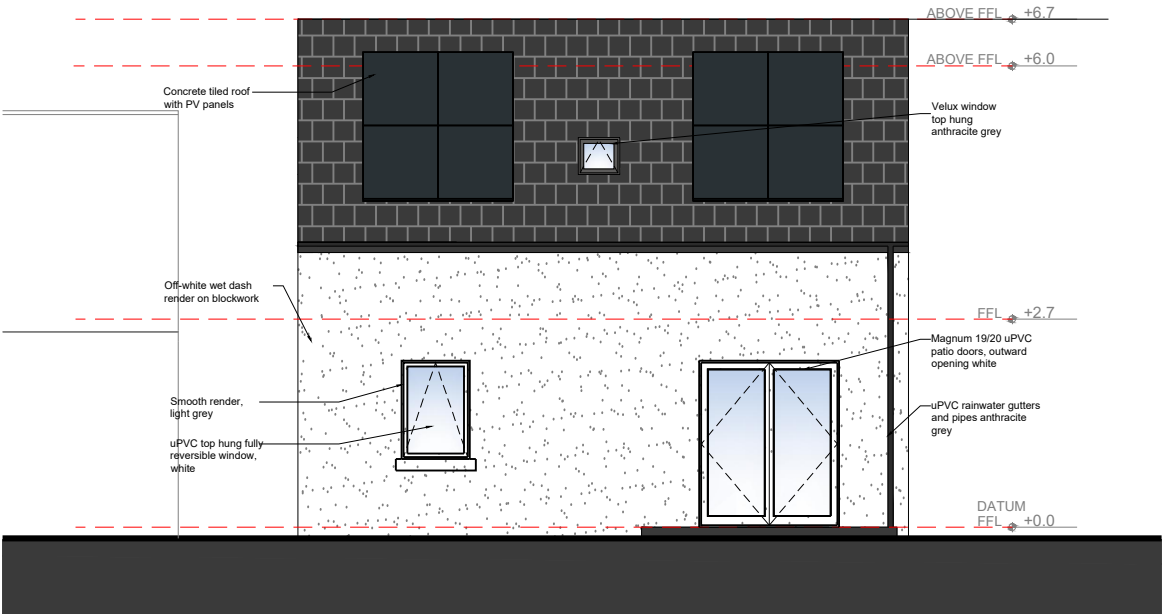
SCALE 1:100



1

Plot 5 - East Elevation

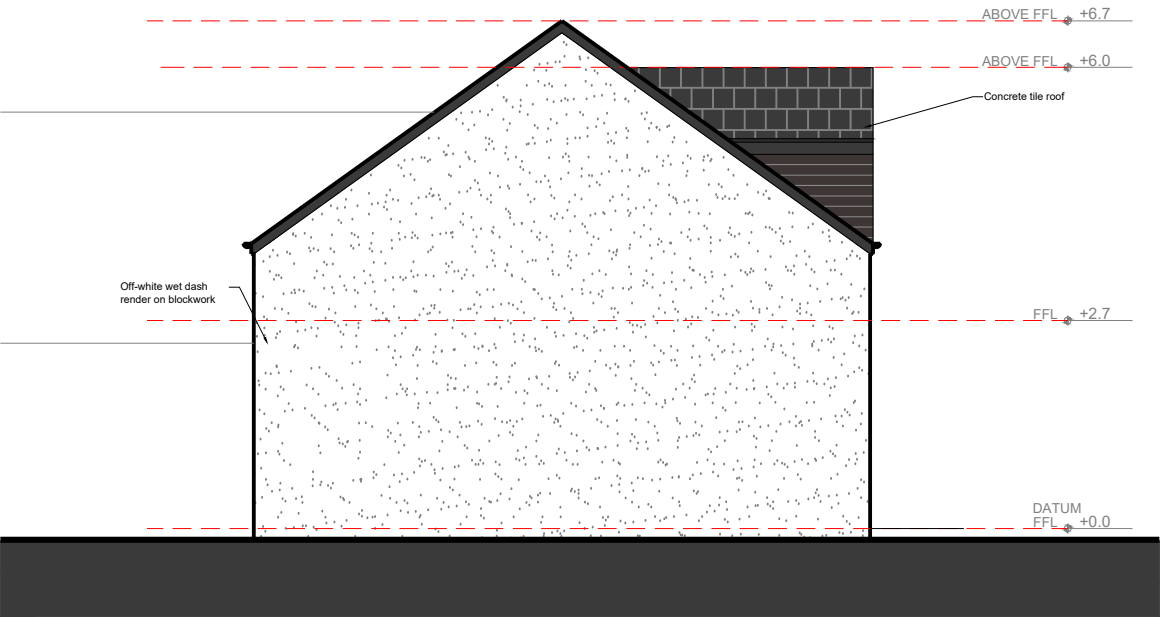
1:100 @ A3



2

Plot 5 - West Elevation

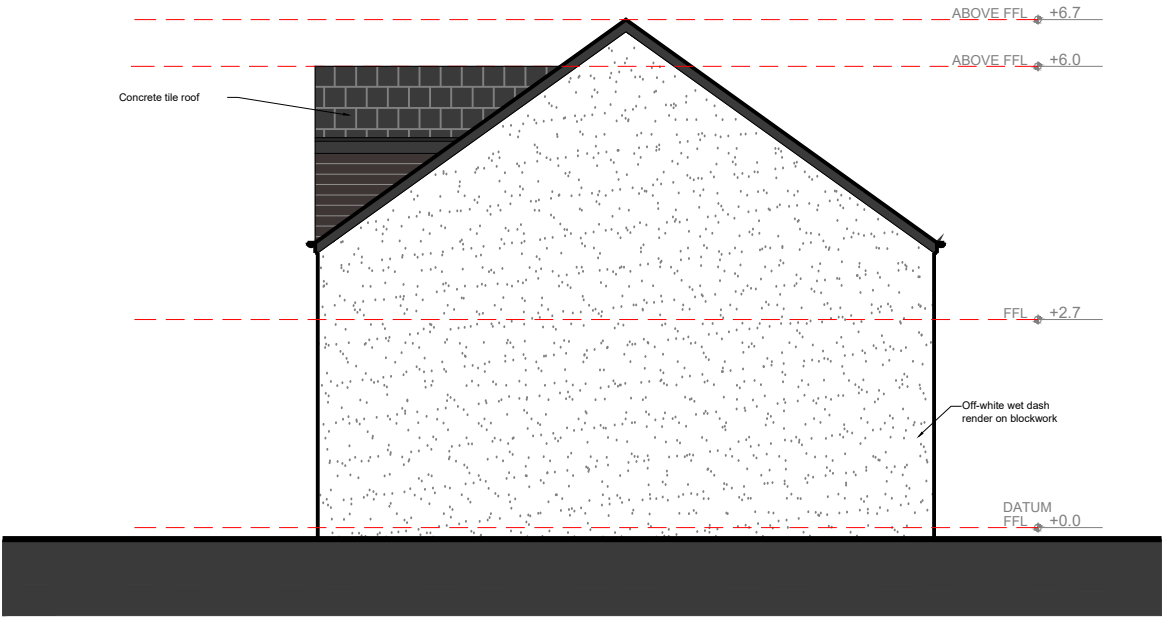
1:100 @ A3



3

Plot 5 - South Elevation

1:100 @ A3



4

Plot 5 - North Elevation

1:100 @ A3

Rev C porch omitted 15.04.21 HG



Andrew Black Design
Architecture + Interior Design

Client: Alpha Projects

DWG. NO. PL - 502 C

Project:
Housing Development
Main Street
Tomintoul

Title:
Plot 5
Elevations
1:100 @ A3

Job No: 760

Date: January 2021

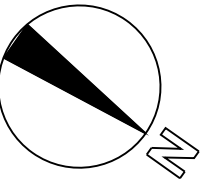
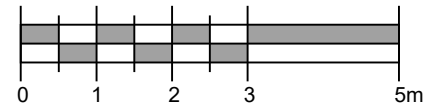
Purpose: Planning

Drawn by: HG

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mail@andrewblackdesign.com

SCALE 1:100



Plot 5
5 Person
3-bedroom
detached
2-storey house
91.9m² floor area

Rev C porch omitted, ground floor bedroom window revised 15.04.21 HG



Client: Alpha Projects

DWG. NO. PL - 302 C

Project:
Housing Development
 Main Street
 Tomintoul

Title:
Plot 5
 Proposed Floor Plan
 1:50 @ A3

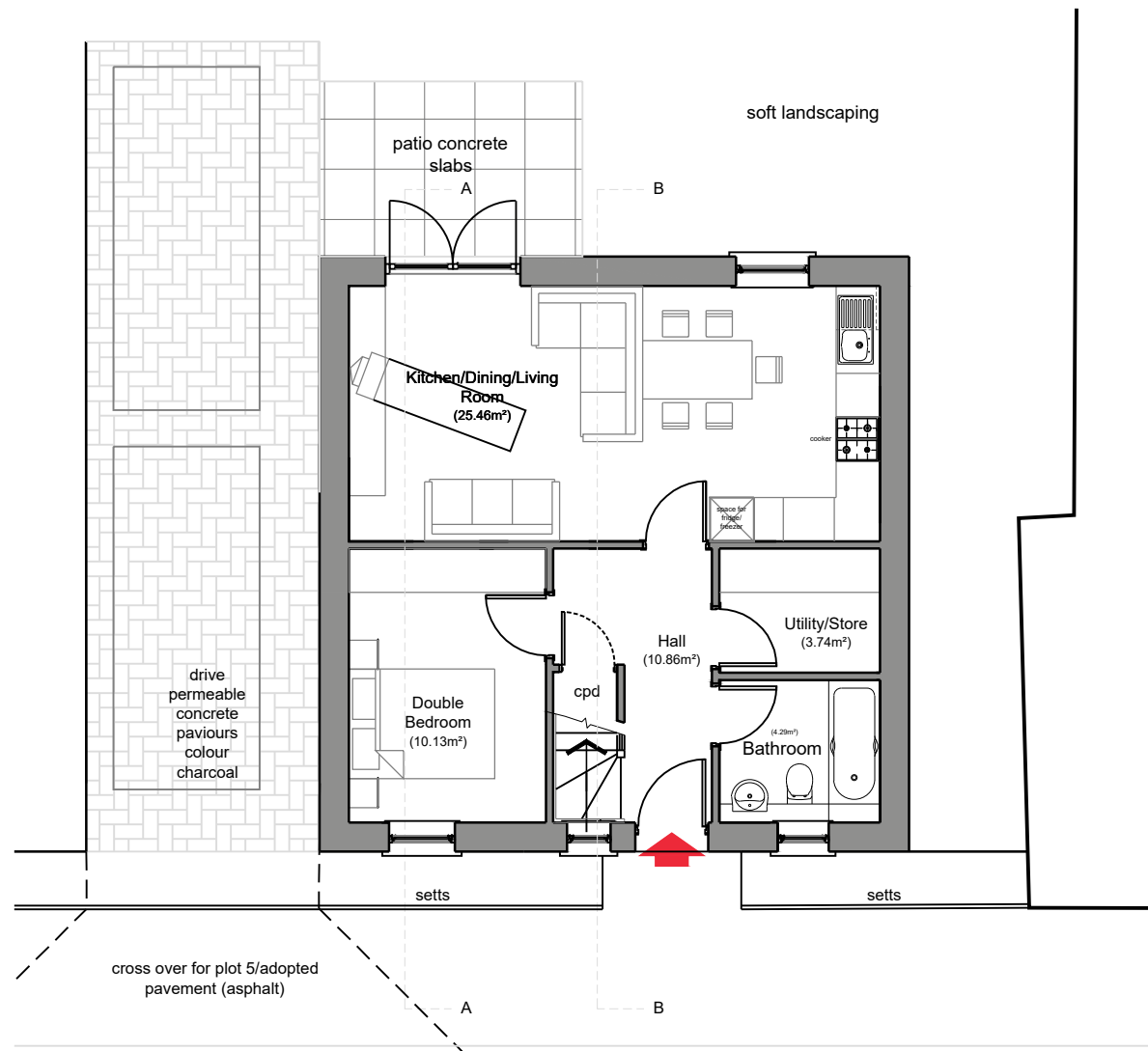
Job No: 760

Date: January 2021

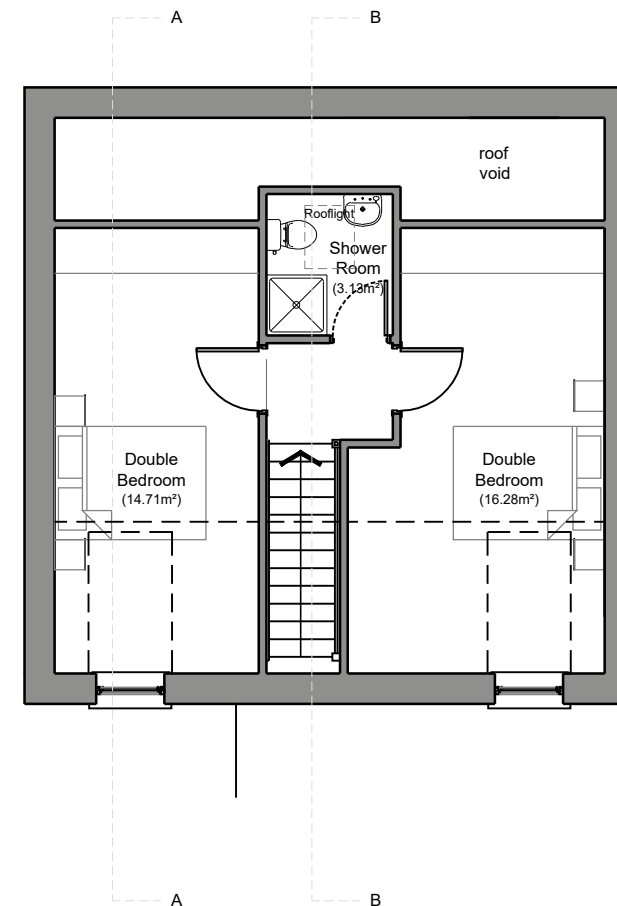
Purpose: Planning

Drawn by: HG

27 Tay Street Lane, Dundee, DD1 4EF t: 01382 220874
 mail@andrewblackdesign.com



1 Plot 5 - Ground Floor Plan
 1:100 @ A3

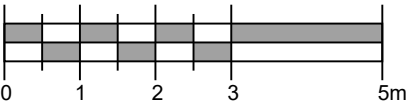


2 Plot 5 - First Floor Plan
 1:100 @ A3

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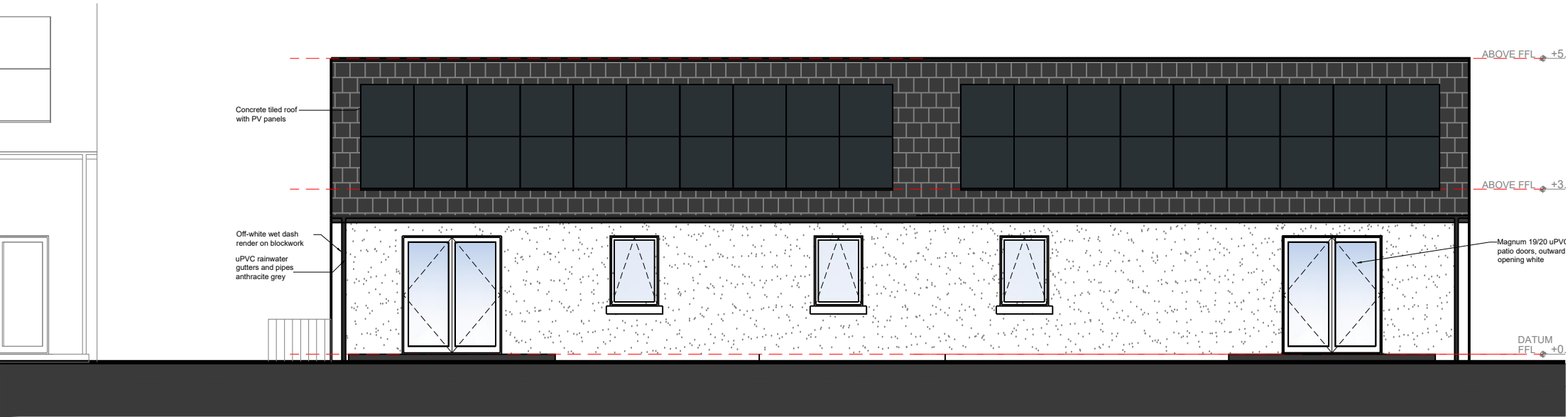
SCALE 1:100



1

Plot 6 & 7 - East Elevation

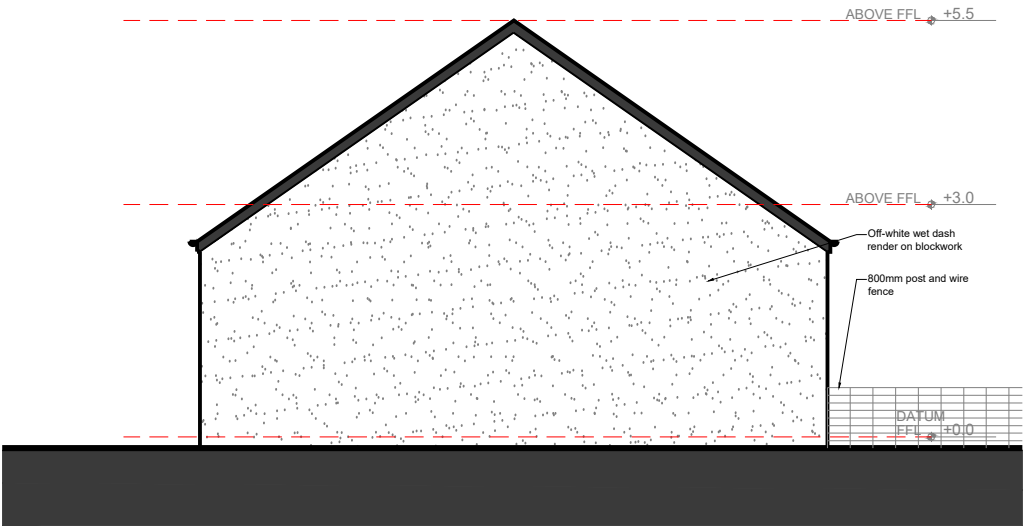
1:100 @ A3



2

Plot 6 & 7 - West Elevation

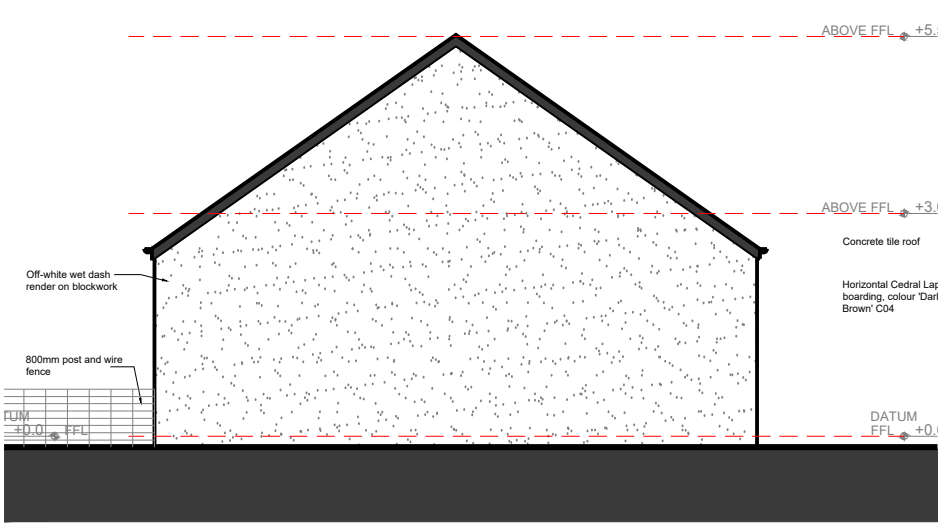
1:100 @ A3



3

Plot 6 & 7 - North Elevation

1:100 @ A3



4

Plot 6 & 7 - South Elevation

1:100 @ A3

Rev C porches omitted 15.04.21 HG



Andrew Black Design
Architecture + Interior Design

Client: Alpha Projects

DWG. NO. PL - 503 C

Project:
Housing Development
Main Street
Tomintoul

Title:
Plot 6 & 7
Elevations
1:100 @ A3

Job No: 760

Date: January 2021

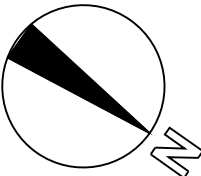
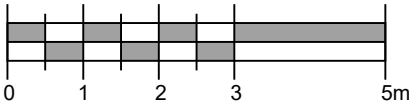
Purpose: Planning

Drawn by: HG

27 Tay Street Lane, Dundee, DD1 4EF
t: 01382 220874
mail@andrewblackdesign.com

DO NOT SCALE FROM DRAWING

SCALE 1:100



Plot 7
4 Person
2-bedroom
semi-detached
single-storey house
71.25m² floor area

Plot 6
4 Person
2-bedroom
semi-detached
single-storey house
live-work
78.75m² floor area

Rev C porches omitted 15.04.21 HG



Andrew Black Design
Architecture + Interior Design

Client: Alpha Projects

DWG. NO. PL - 303 C

Project:
Housing Development
Main Street
Tomintoul

Title:
Plot 6 & 7
Proposed Ground Floor Plan
1:100 @ A3

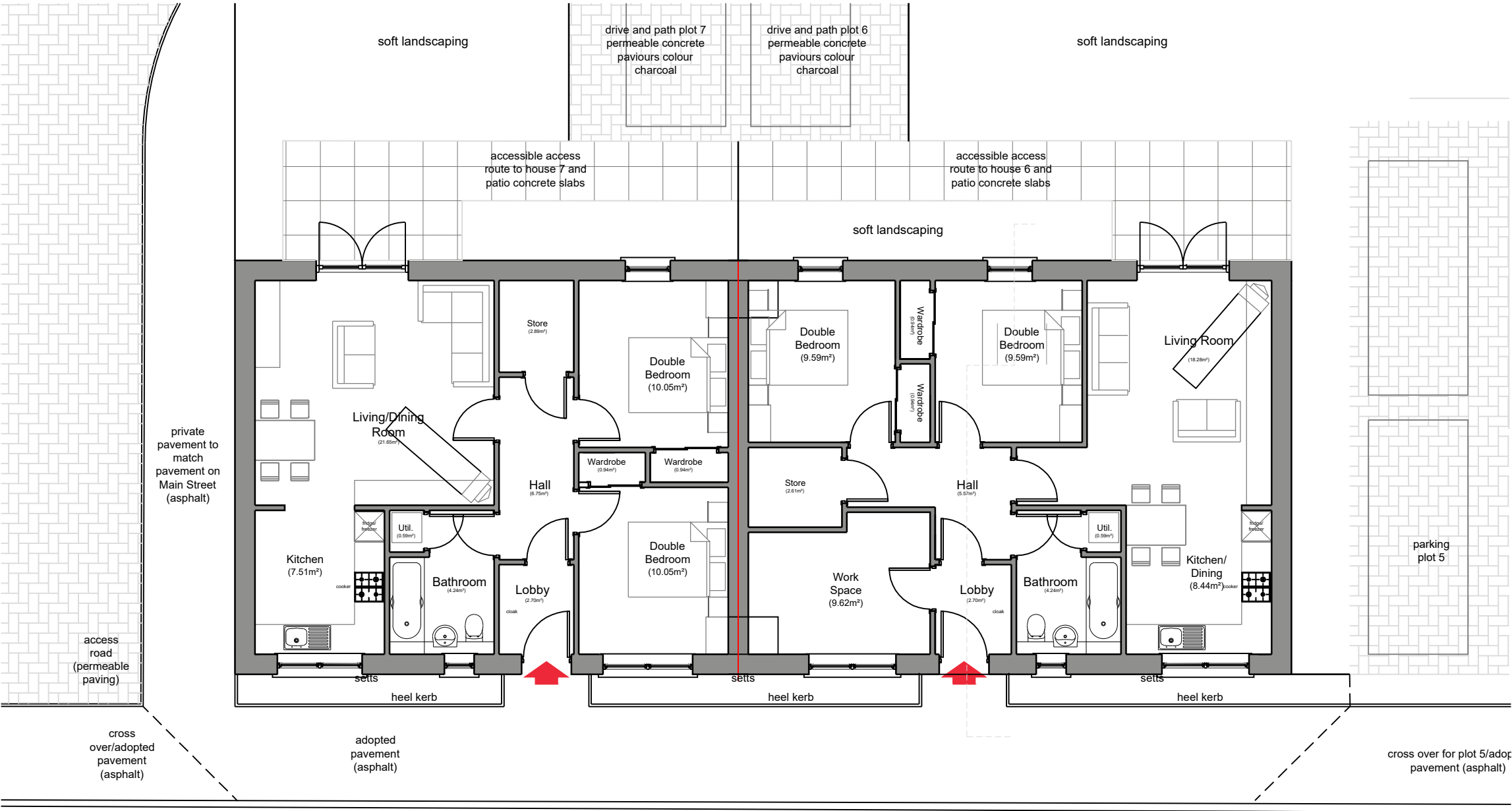
Job No: 760

Date: January 2021

Purpose: Planning

Drawn by: HG

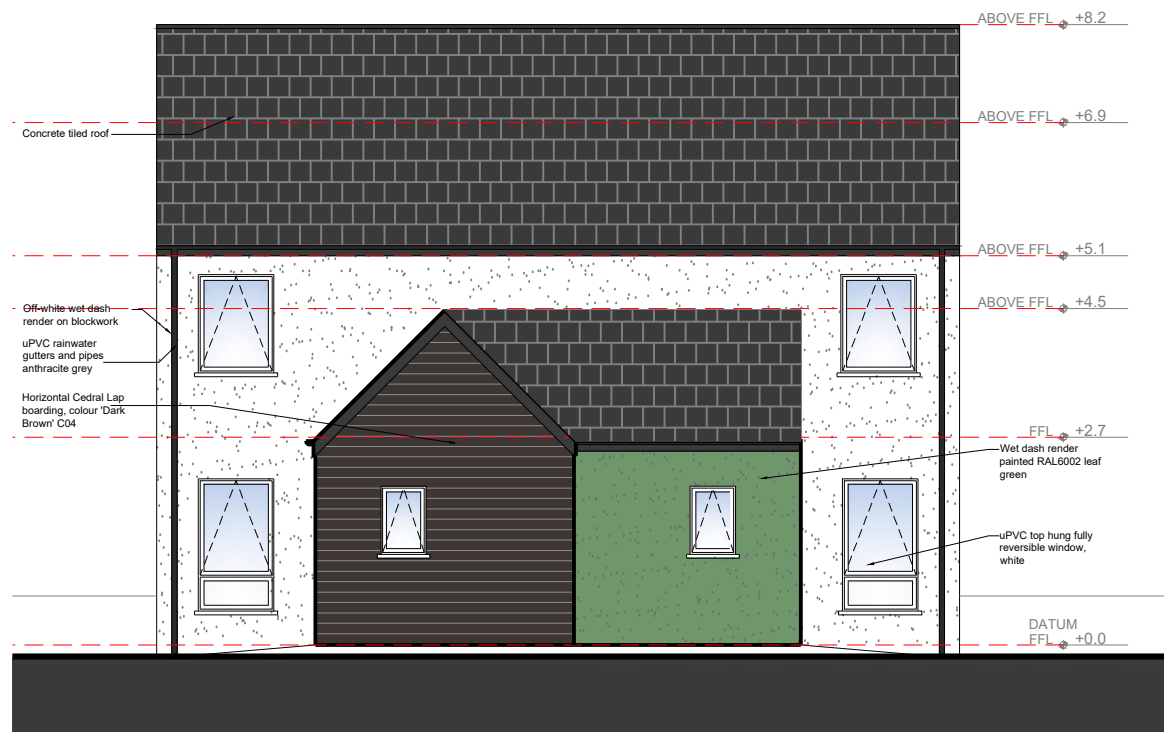
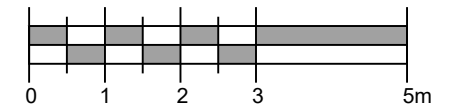
27 Tay Street Lane, Dundee, DD1 4EF
t: 01382 220874
mail@andrewblackdesign.com



1

Plot 6 & 7 - Ground Floor Plan
1:100 @ A3

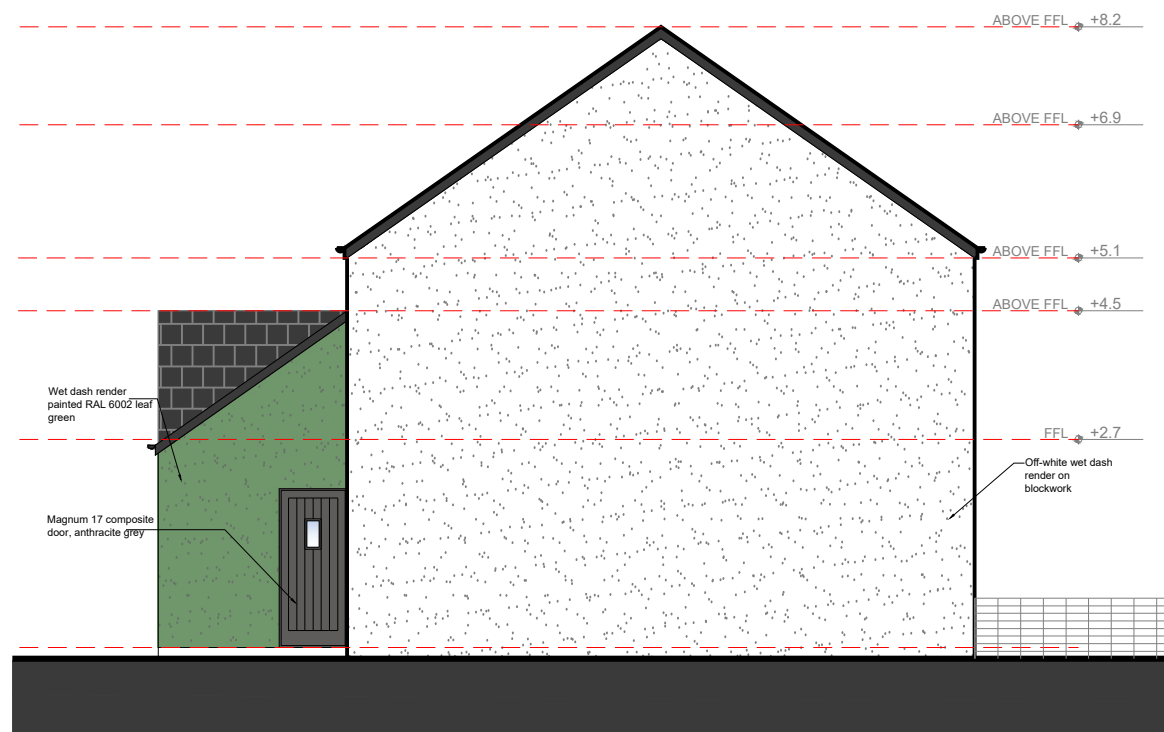
SCALE 1:100



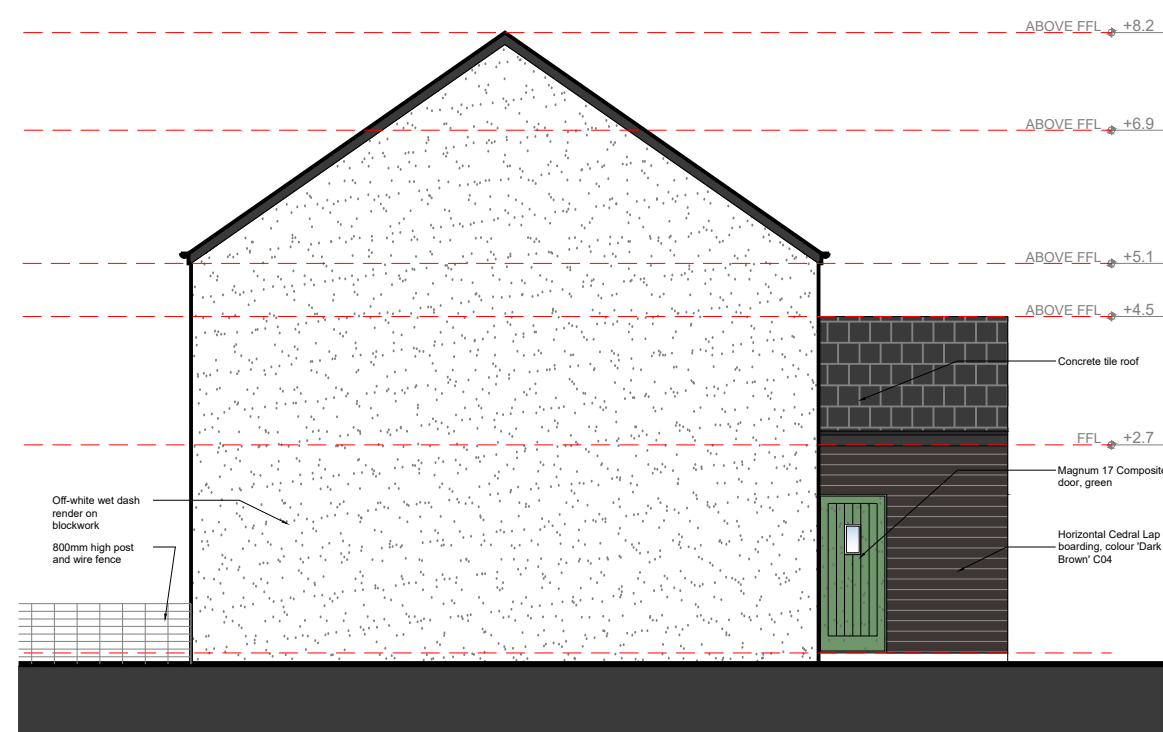
1 Plot 8 & 9 - North Elevation
1:100 @ A3



2 Plot 8 & 9 - South Elevation
1:100 @ A3



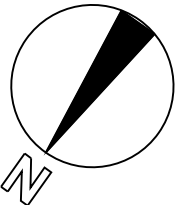
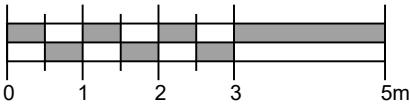
3 Plot 8 & 9 - West Elevation
1:100 @ A3



4 Plot 8 & 9 - East Elevation
1:100 @ A3

DO NOT SCALE FROM DRAWING

SCALE 1:100



Plot 8 & 9
4 Person
2-bedroom
semi-detached
two-storey houses
73.00m² floor area



Client: Alpha Projects

DWG. NO. PL - 304 B

Project:
Housing Development
Main Street
Tomintoul

Title:
Plot 8 & 9
Proposed Floor Plan
1:100 @ A3

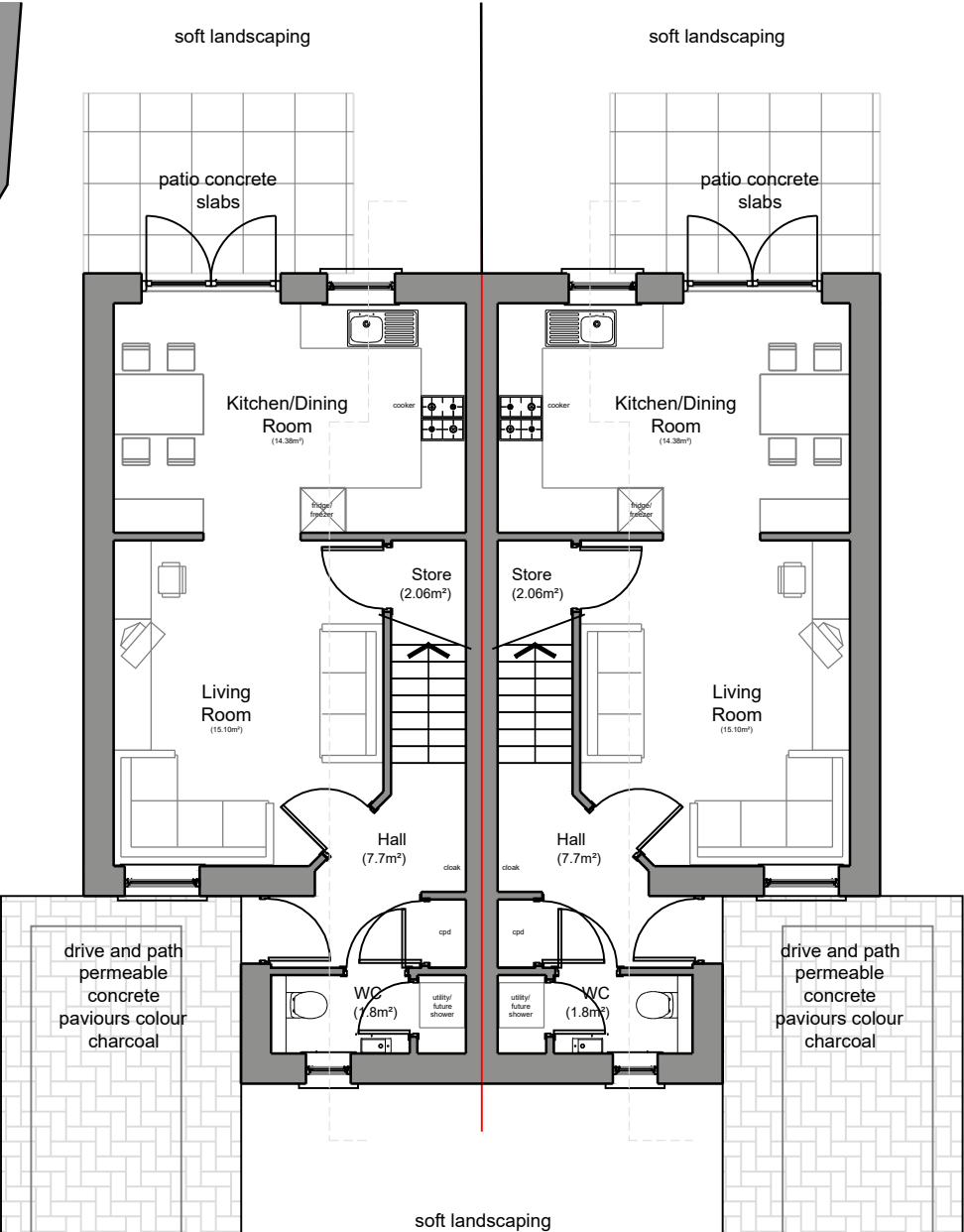
Job No: 760

Date: January 2021

Purpose: Planning

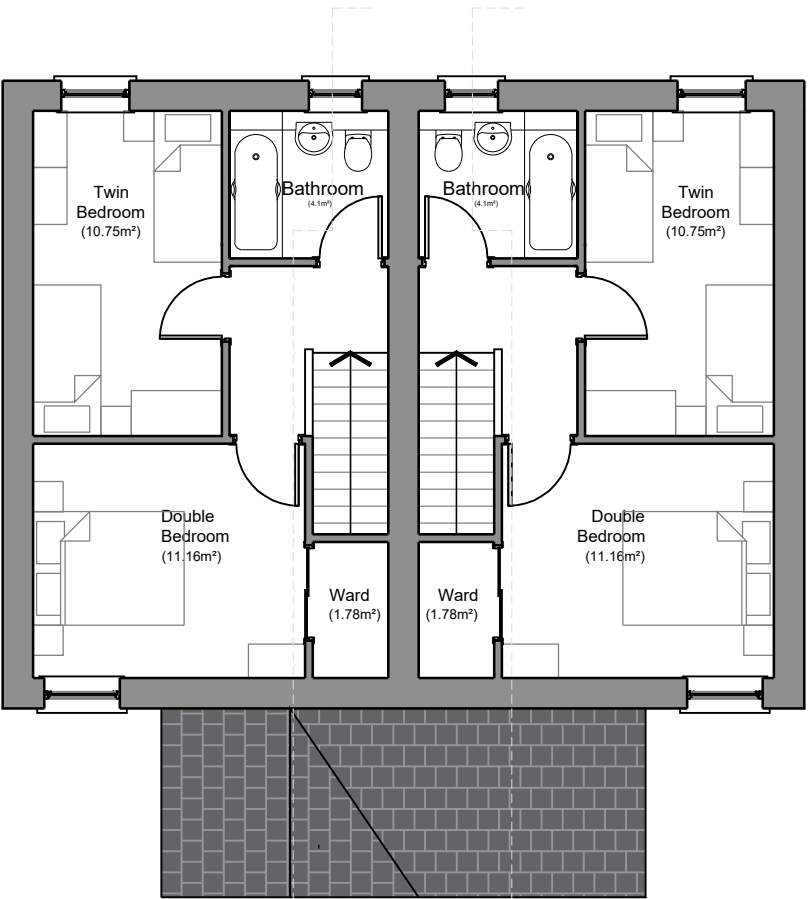
Drawn by: HG

27 Tay Street Lane, Dundee, DD1 4EF
t: 01382 220874
mail@andrewblackdesign.com



1

Plot 8 & 9 - Ground Floor Plan
1:100 @ A3

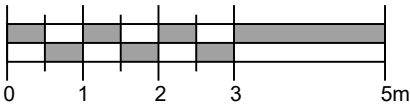


2

Plot 8 & 9 - First Floor Plan
1:100 @ A3

DO NOT SCALE FROM DRAWING

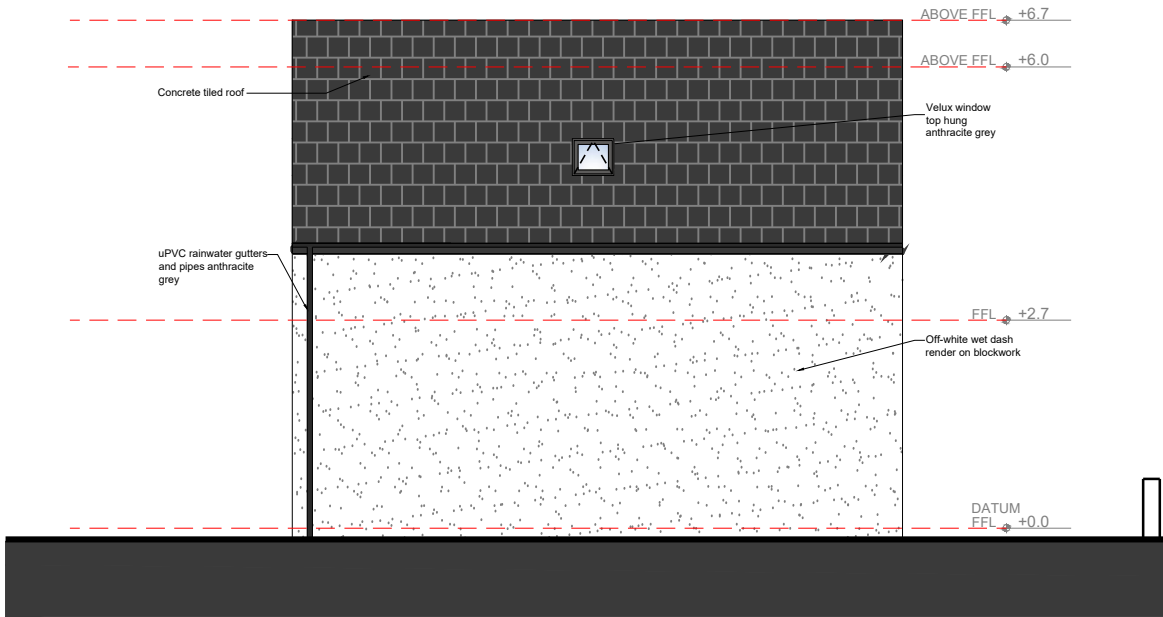
SCALE 1:100



1

Plot 10 - West Elevation

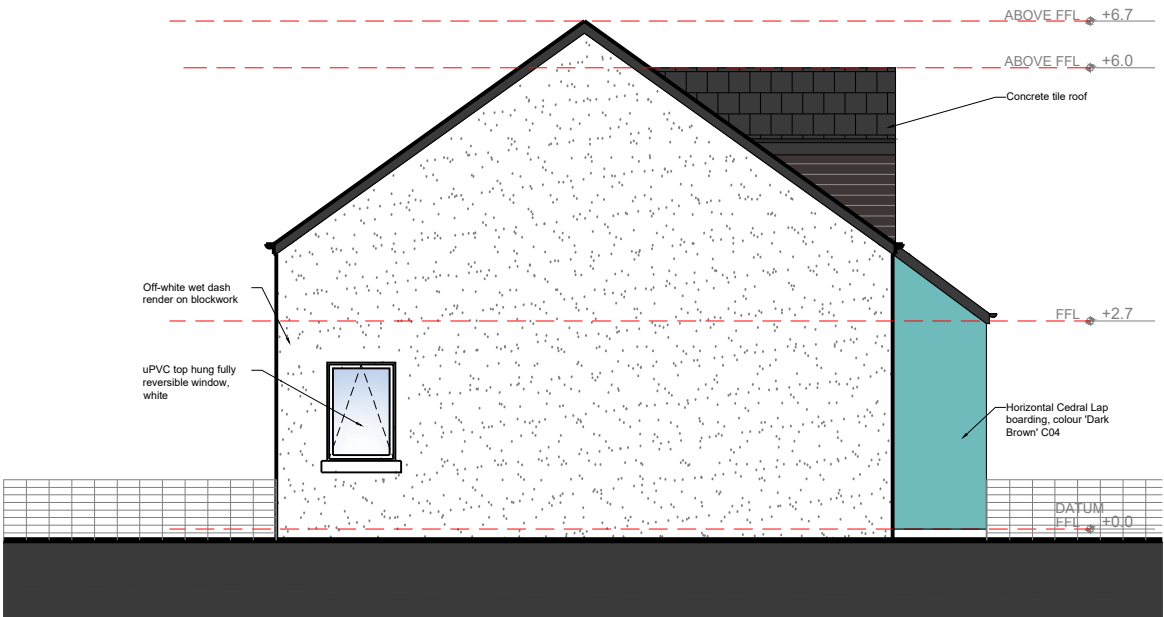
1:100 @ A3



2

Plot 10 - East Elevation

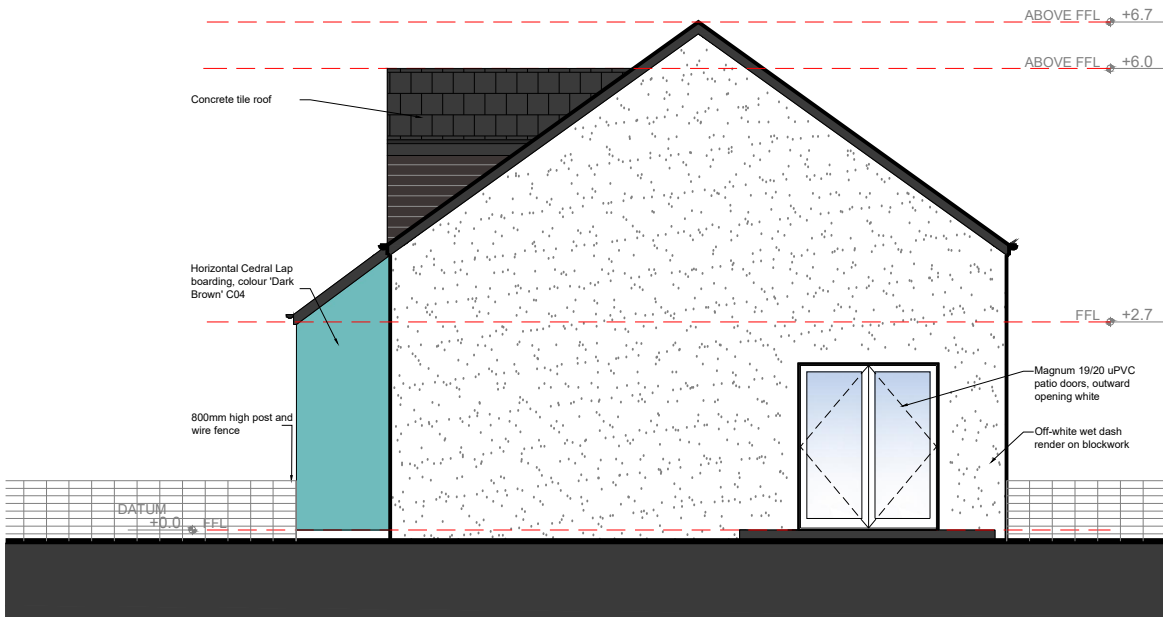
1:100 @ A3



3

Plot 10 - North Elevation

1:100 @ A3



4

Plot 10 - South Elevation

1:100 @ A3

Rev C finishes to porch and window revised
15.04.21 HG



Andrew Black Design
Architecture + Interior Design

Client: Alpha Projects

DWG. NO. PL - 505 C

Project:
Housing Development
Main Street
Tomintoul

Title:
Plot 10
Elevations
1:100 @ A3

Job No: 760

Date: January 2021

Purpose: Planning

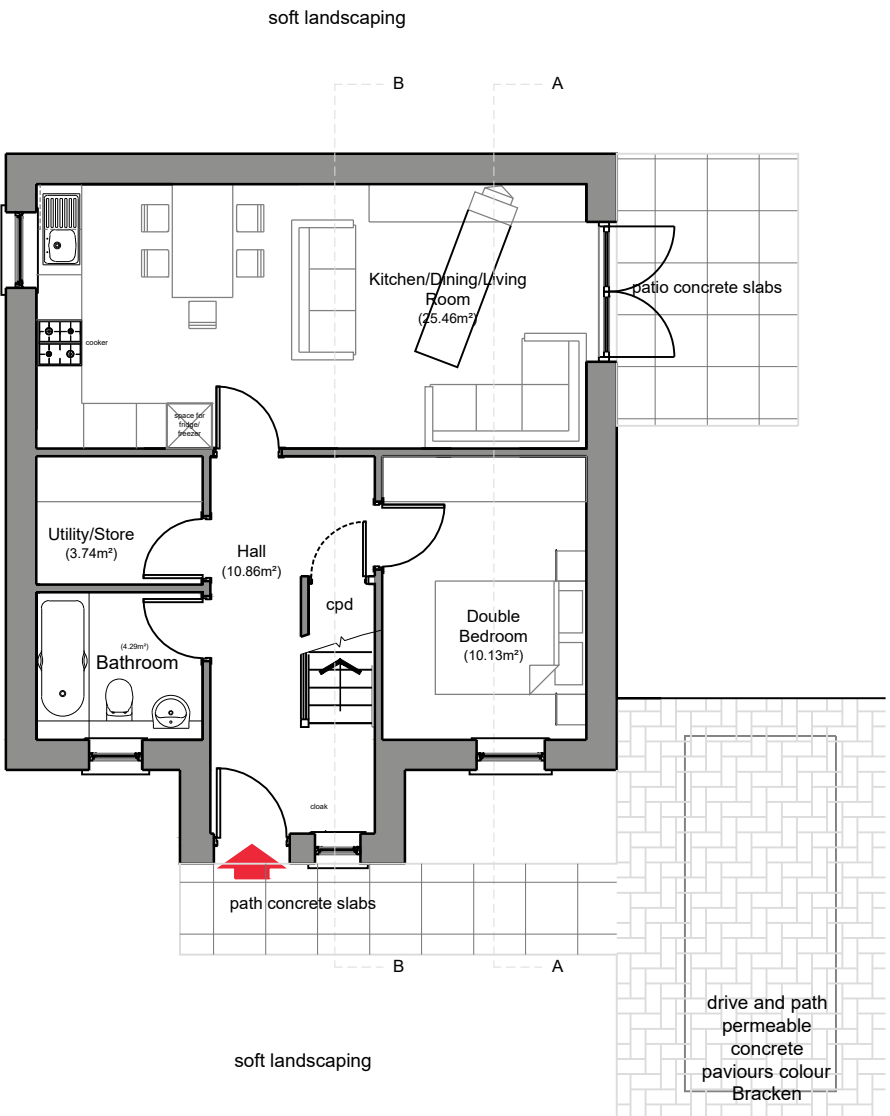
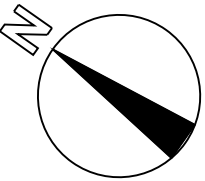
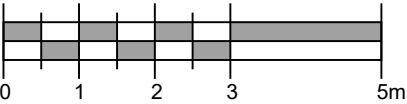
Drawn by: HG

27 Tay Street Lane, Dundee, DD1 4EF

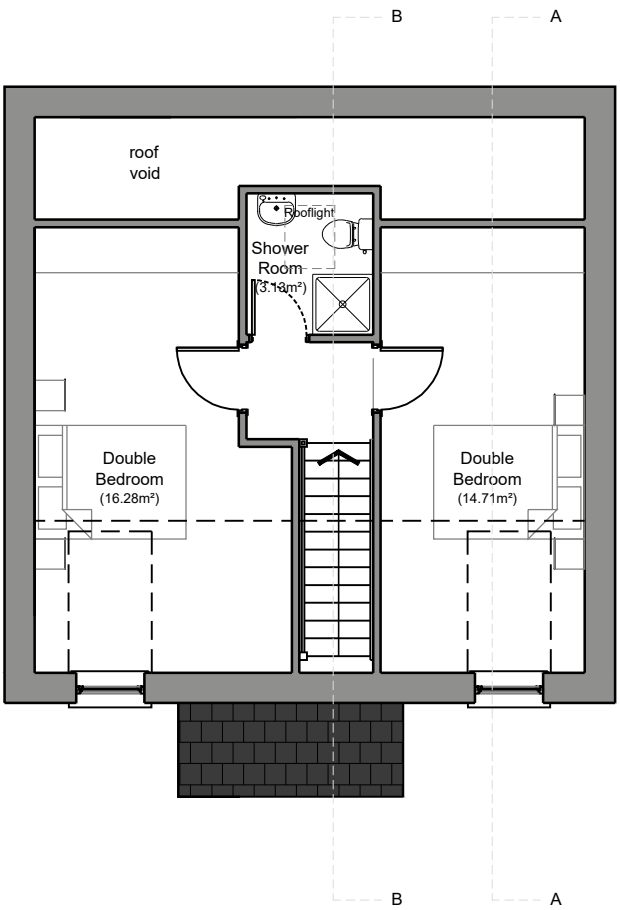
t: 01382 220874
mail@andrewblackdesign.com

DO NOT SCALE FROM DRAWING

SCALE 1:100



1 Plot 10 - Ground Floor Plan
1:100 @ A3



2 Plot 10 - First Floor Plan
1:100 @ A3

Plot 10
5 Person
3-bedroom detached
2-storey house
96.64m² floor area

Rev C drive revised, ground floor bedroom window revised 15.04.21 HG



Client: Alpha Projects

DWG. NO. SK - 305 C

Project:
Housing Development
Main Street
Tomintoul

Title:
Plot 10 - Floor Plan
Proposed Floor Plan
1:100@A3

Job No: 760

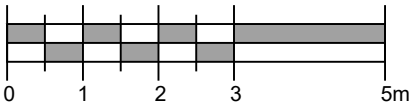
Date: January 2021

Purpose: Planning

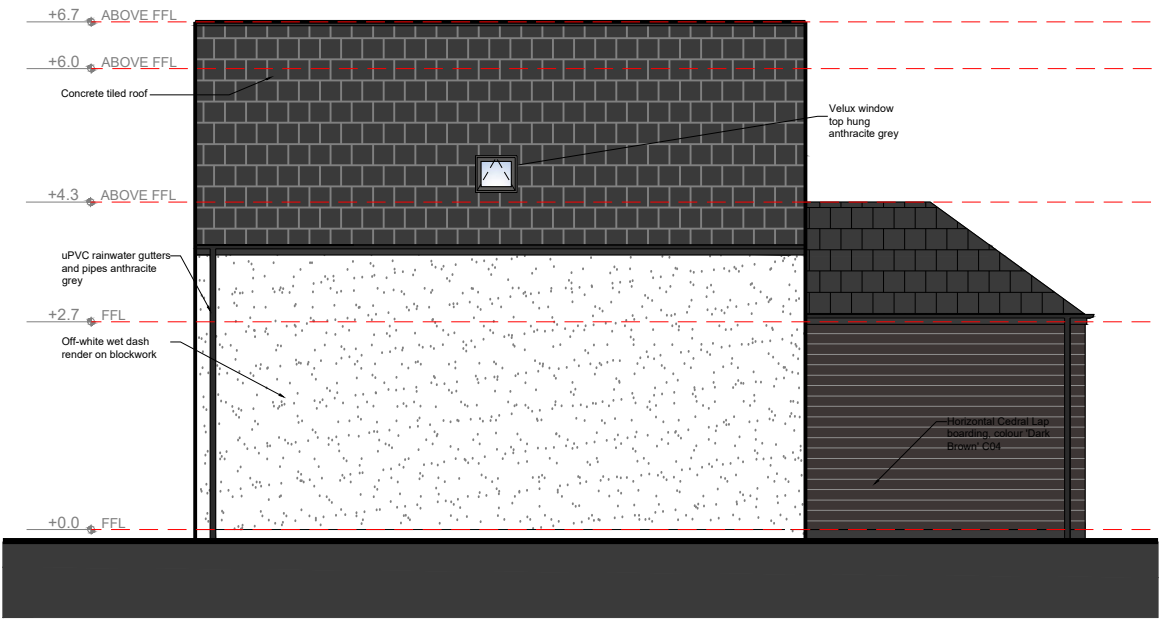
Drawn by: HG

DO NOT SCALE FROM DRAWING

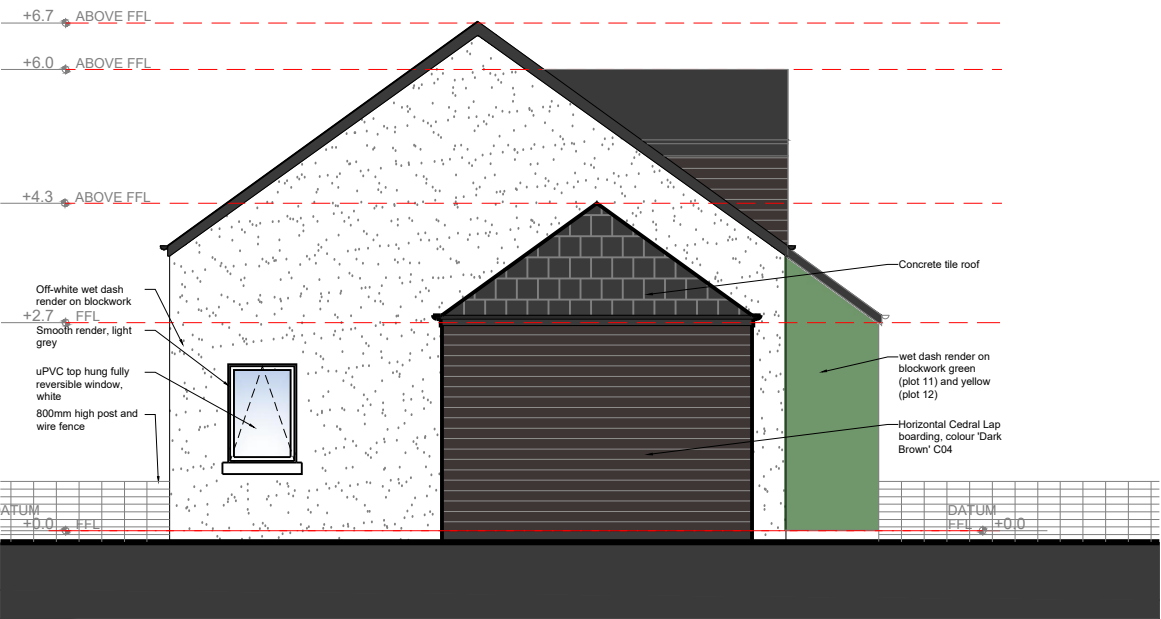
SCALE 1:100



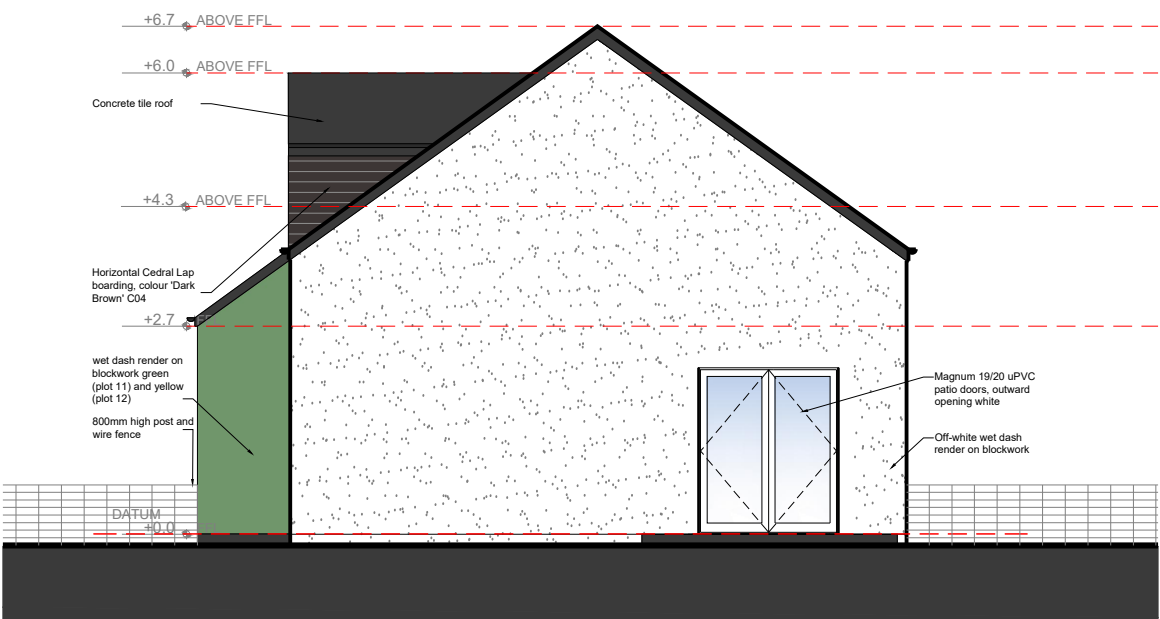
1 Plot 11 - West Elevation
1:100 @ A3



2 Plot 11 - East Elevation
1:100 @ A3



3 Plot 11 - North Elevation
1:100 @ A3



4 Plot 11 - South Elevation
1:100 @ A3



Andrew Black Design
Architecture + Interior Design

Client: Alpha Projects

DWG. NO. PL - 506 B

Project:
Housing Development
Main Street
Tomintoul

Title:
Plots 11 and 12
Elevations
1:100 @ A3

Job No: 760

Date: January 2021

Purpose: Planning

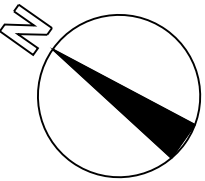
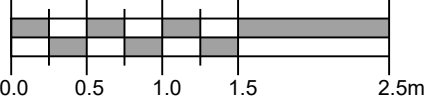
Drawn by: HG

27 Tay Street Lane, Dundee, DD1 4EF

t: 01382 220874
mail@andrewblackdesign.com

DO NOT SCALE FROM DRAWING

SCALE 1:50



Plot 11
5 Person
3-bedroom
semi-detached
1.5-storey house
Live-work
107.61m² floor area

Rev C ground floor bedroom window revised
15.04.21 HG



Andrew Black Design
Architecture + Interior Design

Client: Alpha Projects

DWG. NO. PL - 306 C

Project:
Housing Development
Main Street
Tomintoul

Title:
Plots 11 and 12
Proposed Floor Plans
1:100 @ A3

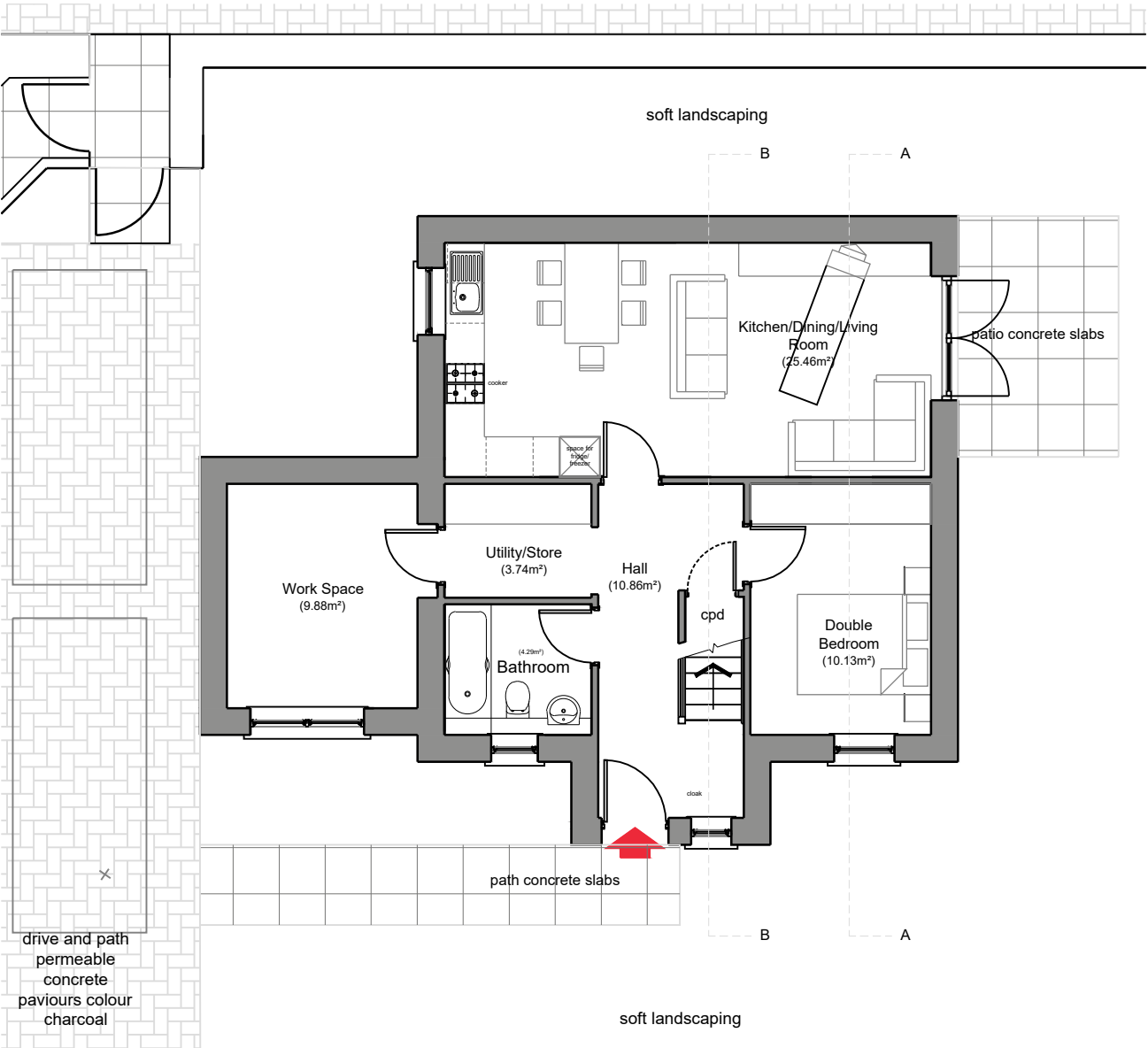
Job No: 760

Date: January 2021

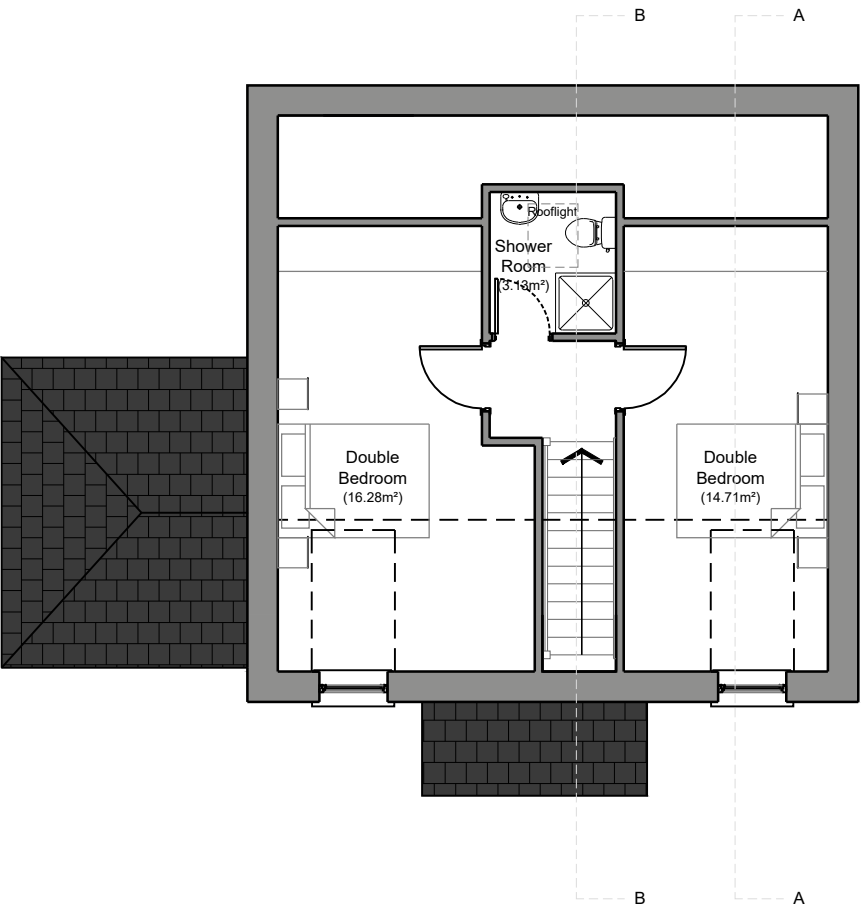
Purpose: Planning

Drawn by: HG

27 Tay Street Lane, Dundee, DD1 4EF
t: 01382 220874
mail@andrewblackdesign.com



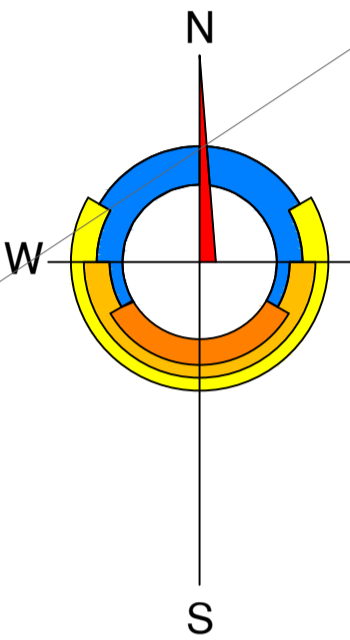
1 Plot 11 - Ground Floor Plan
1:100 @ A3



2 Plot 11 - First Floor Plan
1:100 @ A3



Do not scale from this drawing.
SAFETY HEALTH AND ENVIRONMENTAL INFORMATION
IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION:
RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO. 140346-DA-01
CONSTRUCTION : <ul style="list-style-type: none">EXISTING SERVICESEXCAVATIONS AND USE OF PLANTWORKING AT HEIGHTPROXIMITY TO PRIMARY SCHOOL
DEMOLITION : NOT APPLICABLE
FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE
IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.




LEGEND	
	ADOPTED FOOTPATH
	PERMEABLE PARKING
	PERMEABLE DRIVEWAY
	PRIVATE ROAD
	PRIVATE HARD LANDSCAPING

Rev.	Date	Description	Drawn	Checked	Approved
C	26.04.21	LAYOUT UPDATED FOLLOWING FURTHER AMENDMENTS FROM ARCHITECT. 2.5M FOOTPATH ACROSS SITE NOW INCORPORATED.	ACM	SGD	AK
B	13.04.21	UPDATED TO SHOW AMENDED ARCHITECT LAYOUT. SERVICE STRIPS WIDENED AND DRIVEWAY VISIBILITY SPLAY SHOWN FOR PLOT 9.	ACM	GAV	AK
A	17.02.21	CAR PARK LAYOUT ALTERED TO SUIT THE POSITION OF THE BIN STORE WITHIN THE CENTRAL COURTYARD AREA, AMENDED BY ARCHITECT.	ACM	SGD	AK

Notes:	
1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS DRAWINGS AND SPECIFICATIONS.	
2. ALL ROADWORKS TO BE CARRIED OUT TO THE SATISFACTION OF MORAY COUNCIL.	
3. FOR EXISTING SITE SURVEY, REFER TO DRAWING NUMBER 140346/9004.	
4. FOR DRAINAGE LAYOUT, REFER TO DRAWING NUMBER 140346/2000.	
5. FOR ROAD CONSTRUCTION DETAILS REFER TO DRAWING NUMBER 140346/1001.	
6. FOR KERBING LAYOUT REFER TO DRAWING NUMBER 140346/1002.	
6. ANY PLANTING ON SITE TO BE TO REAR OF VISIBILITY SPLAYS.	

Client:



ALPHA
PROJECTS

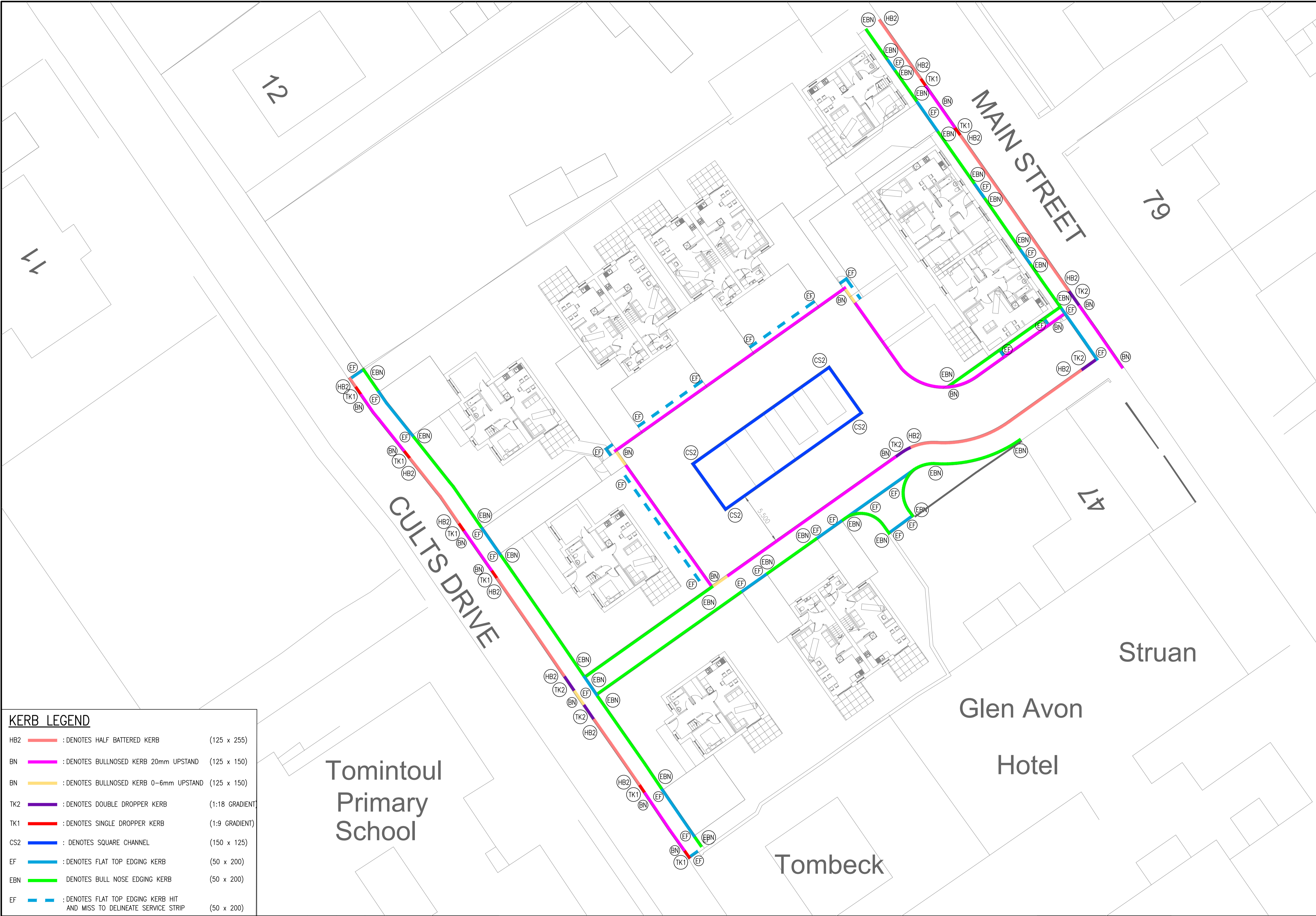
CONSTRUCTION • FIT OUT • REFURBISHMENT

Project Title:	
PROPOSED DEVELOPMENT AT FORMER SECONDARY SCHOOL, TOMINTOUL	
Drawing Title:	
ROAD LAYOUT	

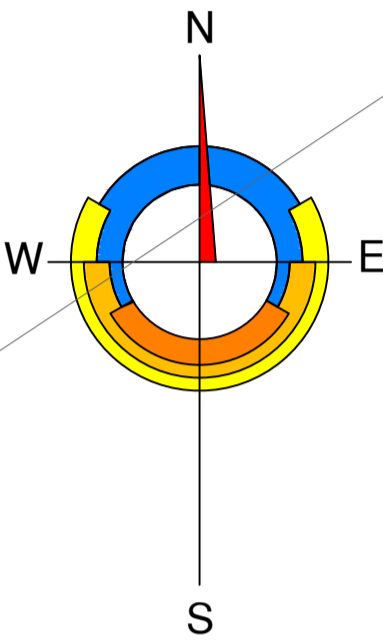
FAIRHURST

Westerton of Craigie,
Southampton Road, DUNDEE, DD4 7PN
Tel: 01382 453300 Fax: 0844 381 4412

Scale at A1: 1:200	Status: Preliminary	
Drawn: ACM	Checked: SGD	Approved: SGD
Date: 04/02/21	Date: 04/02/21	Date: 04/02/21
Drawing No.: 140346/1000		Revision: C



Do not scale from this drawing.
SAFETY HEALTH AND ENVIRONMENTAL INFORMATION
IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION:
RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO. 140346-DA-01
CONSTRUCTION : <ul style="list-style-type: none">EXISTING SERVICESEXCAVATIONS AND USE OF PLANTWORKING AT HEIGHTPROXIMITY TO PRIMARY SCHOOL
DEMOLITION : NOT APPLICABLE
FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE
IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.



KERB LEGEND		
HB2	: DENOTES HALF BATTERED KERB	(125 x 255)
BN	: DENOTES BULLNOSED KERB 20mm UPSTAND	(125 x 150)
BN	: DENOTES BULLNOSED KERB 0-6mm UPSTAND	(125 x 150)
TK2	: DENOTES DOUBLE DROPPER KERB	(1:18 GRADIENT)
TK1	: DENOTES SINGLE DROPPER KERB	(1:9 GRADIENT)
CS2	: DENOTES SQUARE CHANNEL	(150 x 125)
EF	: DENOTES FLAT TOP EDGING KERB	(50 x 200)
EBN	DENOTES BULL NOSE EDGING KERB	(50 x 200)
EF	: DENOTES FLAT TOP EDGING KERB HIT AND MISS TO DELINEATE SERVICE STRIP	(50 x 200)

Tomintoul
Primary
School

Tombeck


Struan

Glen Avon
Hotel

Rev.	Date	Description	Drawn	Checked	Approved
B	26.04.21	LAYOUT UPDATED FOLLOWING FURTHER AMENDMENTS FROM ARCHITECT. 2.5M FOOTPATH ACROSS SITE NOW INCORPORATED.	ACM	SGD	AK
A	13.04.21	UPDATED TO SHOW AMENDED ARCHITECT LAYOUT. SERVICE STRIPS WIDENED PLOT 9 DRIVEWAY MOVED. LINK TO CULTS DRIVE WIDENED TO 2.5m.	ACM	GAV	AK

Notes:
1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS DRAWINGS AND SPECIFICATIONS.
2. ALL ROADWORKS TO BE CARRIED OUT TO THE SATISFACTION OF MORAY COUNCIL.
3. FOR EXISTING SITE SURVEY, REFER TO DRAWING NUMBER 140346/9004.
4. FOR DRAINAGE LAYOUT, REFER TO DRAWING NUMBER 140346/2000.
5. FOR ROAD CONSTRUCTION DETAILS REFER TO DRAWING NUMBER 140346/1001.
6. FOR ROAD LAYOUT REFER TO DRAWING NUMBER 140346/1000.
6. ANY PLANTING ON SITE TO BE TO REAR OF VISIBILITY SPLAYS.

Client:



ALPHA
PROJECTS
CONSTRUCTION - FIT OUT - REFURBISHMENT

Project Title:

PROPOSED DEVELOPMENT
AT FORMER SECONDARY SCHOOL,
TOMINTOUL

Drawing Title:

KERBING LAYOUT

FAIRHURST

Westerton of Craigie,
Southampton Road, DUNDEE, DD4 7PN
Tel: 01382 453300 Fax: 0844 381 4412

Scale at A1:
1:200

Status:
Preliminary

Drawn:
AM

Checked:
SGD

Approved:
SGD

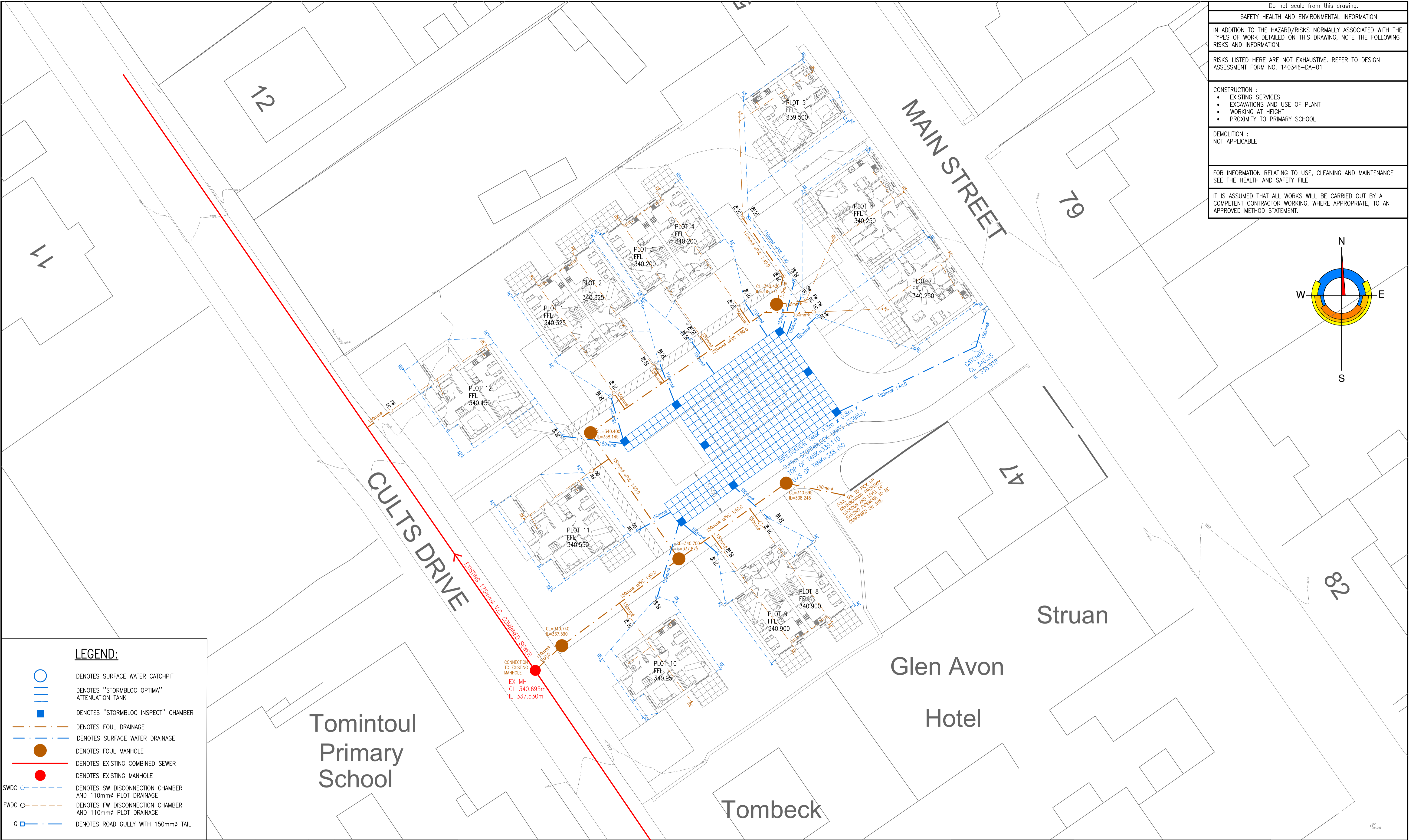
Date:
08/02/21

Date:
08/02/21

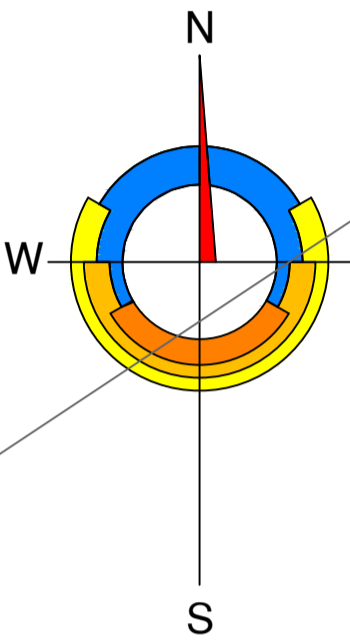
Date:
08/02/21

Drawing No.:
140346/1003

Revision:
B



Do not scale from this drawing.
SAFETY HEALTH AND ENVIRONMENTAL INFORMATION
IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION:
RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO. 140346-DA-01
CONSTRUCTION : <ul style="list-style-type: none">EXISTING SERVICESEXCAVATIONS AND USE OF PLANTWORKING AT HEIGHTPROXIMITY TO PRIMARY SCHOOL
DEMOLITION : NOT APPLICABLE
FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE
IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.



LEGEND:	
	DENOTES SURFACE WATER CATCHPIT
	DENOTES "STORMBLOC OPTIMA" ATTENUATION TANK
	DENOTES "STORMBLOC INSPECT" CHAMBER
	DENOTES FOUL DRAINAGE
	DENOTES SURFACE WATER DRAINAGE
	DENOTES FOUL MANHOLE
	DENOTES EXISTING COMBINED SEWER
	DENOTES EXISTING MANHOLE
SWDC	DENOTES SW DISCONNECTION CHAMBER AND 110mmØ PLOT DRAINAGE
FWDC	DENOTES FW DISCONNECTION CHAMBER AND 110mmØ PLOT DRAINAGE
G	DENOTES ROAD GULLY WITH 150mmØ TAIL

Rev.	Date	Description	Drawn	Checked	Approved
C	26.04.21	UPDATED TO SHOW AMENDED ARCHITECT LAYOUT. GULLY REPOSITIONED AND ATTENUATION TANK SLIGHTLY RE-CONFIGURED TO SUIT.	ACM	SGD	AK
B	13.04.21	UPDATED TO SHOW AMENDED ARCHITECT LAYOUT. SERVICE STRIPS WIDENED AND DRIVEWAY VISIBILITY SPLAY SHOWN FOR PLOT 9.	ACM	GAV	AK
A	17.02.21	ATTENUATION TANK LAYOUT ALTERED TO SUIT THE POSITION OF THE BIN STORE WITHIN THE CENTRAL COURTYARD AREA, AMENDED BY ARCHITECT.	ACM	SGD	AK

Notes:	<ol style="list-style-type: none">ALL DRAINAGE TO BE IN ACCORDANCE WITH 'SEWERS FOR SCOTLAND' 4th EDITION.FOR DRAINAGE CONSTRUCTION DETAILS REFER TO DRAWING NUMBER 140346/2001THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING ADEQUATE PROTECTION TO EXISTING LIVE DRAINS AT TIE-IN POINTS, AND MAINTAINING FLOWS DURING THE WORKS.ALL MANHOLE COVERS SHALL BE STAMPED: 'SW' SURFACE WATER AND 'FW' FOULALL EXISTING MANHOLE LEVEL INFORMATION SHOWN ON THIS DRAWING IS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF DRAINAGE WORKS. ANY DISCREPANCIES NOTED SHOULD BE IMMEDIATELY REPORTED TO THE ENGINEER.IT WILL BE THE CONTRACTORS RESPONSIBILITY TO APPLY TO SCOTTISH WATER FOR THE NECESSARY PLOT CONNECTION PERMITS.IT WILL BE THE CONTRACTORS RESPONSIBILITY TO PROVIDE ADEQUATE TRENCH SUPPORT TO ENSURE STABILITY AND SAFETY OF THE DRAINAGE WORKS.ALL LEVELS SHOWN ON THIS DRG. ARE RELATED TO O.S. GRID. ALL SURVEYED LEVELS RELATE TO O.S.B.M. AND HAVE BEEN ASCERTAINED BY LOGGING G.P.S. DATA
Client:	

Project Title:	PROPOSED DEVELOPMENT AT FORMER SECONDARY SCHOOL, TOMINTOUL		
Drawing Title:	DRAINAGE LAYOUT		
Scale at A1:	1:200	Status:	Preliminary
Drawn:	ACM	Checked:	SGD
Date:	20/01/21	Approved:	SGD
Drawing No.:	140346/2000	Revision:	C